



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission
Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, March 9, 2021, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at www.stpete.org/meetings.

UPDATE: COVID-19

Procedures will be implemented to comply with the CDC guidelines during the Public Hearing, including mandatory face coverings and social distancing, with limitations on the number of attendees within Council Chambers. The City's Planning and Development Services Department requests that you visit the City website at www.stpete.org/meetings and contact the case planner for up-to-date information pertaining to this case.

According to Planning and Development Services Department records, no member of the Community Planning and Preservation Commission resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



Case No.:	21-90200001
Address:	2349 Central Avenue
Legal Description:	ST PETERSBURG INVESTMENT CO SUB BLK 20, LOTS 8 THRU 11

Parcel ID No.: 23-31-16-78390-020-0080
Date of Construction: 1926
Local Landmark: Mari-Jean Hotel (HPC Case No. 00-02)
Owner: Mari Jean Hotel LLC, Mari Jean Boutique LLC, and Elizabeth Street Lofts Inc
Request: Review of a Certificate of Appropriateness for the approval of window replacement at an individually listed local historic landmark

Historical Context and Significance

The Mari-Jean Hotel was constructed in 1926 by W. B. Ferguson for local developer and engineer George F. Young. The Mediterranean Revival-style building was listed in the St. Petersburg Register of Historic Places in 2000 (HPC 00-02). The property came before this Commission in 2018 as part of a rehabilitation project to return the building to its original use: a hotel. The Certificate of Appropriateness proposed the installation of new storefront openings on the first floor and the construction of a pool and associated accessory structures east of the building.

Project Description and Review

Project Summary

The application (Appendix A) proposes the replacement of 140 windows on the second and third floors with new windows of the same configuration. The applicant proposes to install white, single-hung vinyl American Craftsman Series 70 windows made by Ply Gem Residential Solutions.



Figure 1: Image of the proposed window from Home Depot's website.

The building initially had wooden 1/1 windows, but all of the windows on the second and third floors were replaced with aluminum, double hung windows in 1974. There are several windows on the 24th Street North elevation that appear to have been replaced with white vinyl windows. These windows do not have the same recess into the wall plane as the other metal windows from 1974. The applicant states that the existing windows are in need of replacement due to water damage, and they state that they will work to preserve and maintain existing trim and façade to the extent that is possible.

As stated above, the replacement of the first floor storefront windows came before this Commission in 2018. One of the conditions of approval was that the visible material of the frames shall be either a solid color or wooden, but not metallic. The newly installed windows, doors, and storefronts on the first floor have a dark matte finish.



Figure 2: Image of recently installed storefronts.



Figure 3: Closeup of storefronts



Figure 4: Photograph shows two windows that have been replaced with modern white windows, which are similar to the proposed windows.

General Criteria for Granting Certificates of Appropriateness

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Somewhat Consistent The proposed project will not remove any historic fabric, as the windows to be replaced are not original to the subject property. The configuration and profile of the proposed windows will match the windows being replaced and the original windows.

The finish of the windows for the upper floors are proposed to be vinyl, which typically has a very shiny and smooth finish. The storefront windows and doors that were recently installed on the first floor have a dark, matte finish. Fenestrations, particularly those on the same elevations, should have consistent finishes, textures, materials, and appearance.
2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Consistent The subject property is the only structure on the landmark site and is not part of a designated district
3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Inconsistent The proposed project will replace non-original windows with new windows that match the original style and arrangement, but the application indicates the replacements will be vinyl, which will differ from the matte finish of the storefront systems and windows on the first floor. There should be consistency and cohesion with the fenestrations on the primary elevations.
4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

Information not provided
5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent There is no indication that the applicant cannot carry out the proposal.
6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

Not applicable The property is a local historic landmark.

Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Consistent The subject property will be converted back to a hotel, which was the building's original use.

2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

Consistent The existing windows to be replaced are not original to the building. The applicant has stated that the original openings and trim will be preserved.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

Consistent The proposed project includes the installation of one-over-one windows which match the subject property's original windows.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

Not applicable

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Inconsistent The proposed project introduces vinyl as a window frame material, which will have a different finish from the original windows and the recently installed windows and doors installed on the first floor. The application does propose preserving existing window openings and configurations.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Inconsistent No historic features are proposed to be removed, but the replacement features will not match the old in texture and visual qualities, nor will white vinyl match the texture and visual qualities, such as the dark matte finish, of the other doors and windows recently installed on the same elevations. There should be a consistency of design, texture, and visual qualities of the proposed windows with the recently approved windows and doors installed on the first floor.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Not applicable This criterion is not relevant to the application.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

Not applicable The subject property is not located within a known archaeological sensitivity area.

Additional Guidelines for Window Replacement

The City's historic preservation office, State of Florida Division of Historic Resources, and U.S. Department of Interior Technical Preservation Services can provide additional information relating to window repair and replacement for individual landmark buildings and properties within local historic districts. While preservation and repair of historic windows is often preferable, property owners may replace windows provided that each replacement window meets the following criteria:

1. *Impact resistance. The replacement window and glass shall be impact resistant;*

Consistent The windows will be impact resistant, per information provided by the application.

2. *Energy performance. The replacement window shall be Energy Star qualified for southern climate zones;*

Consistent

3. *Depth in wall. The replacement window shall be setback into the wall the same distance as the historic window;*

Consistent The proposal states that the new windows will be installed to match the placement of the historic windows.

4. *Frame size, shape and exterior trim. The replacement window shall be the same size and shape as the historic window and opening. Historic openings shall not be altered in size. Existing, exterior trim shall be retained, where practicable;*

Consistent The project proposes no change to the window opening sizes and arrangement.

5. *Configuration. The replacement window shall have the same light configuration as the historic window. If the historic window configuration cannot be determined, the replacement window configuration shall be appropriate to the architectural style of the subject building;*

Consistent The configuration of the proposed windows will match the existing windows.

6. *Proportions. The replacement window shall have the same visual qualities of the historic window, where commercially reasonable:*
- a. *Muntins and mullions. Where provided, muntins and mullions shall have the same dimensions and profile of the historic muntins and mullions.*
 - b. *Stiles. For hung windows, stiles shall align vertically and be the same width at the upper and lower sashes.*
 - c. *Top, meeting and bottom rails, and blind stop. The top, meeting and bottom rails of a hung window, including the corresponding blind stop, shall have the same dimensions and profile of the historic window.*

Consistent

7. *Finish. The finished surface and appearance shall match the historic window, where practicable.*

Inconsistent The window frames will be vinyl and will not match other fenestrations on the structure.

Summary of Findings

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 3 of 4 relevant criteria met.
- Additional Guidelines for Alterations: 3 of 5 relevant criteria met or generally satisfied.
- Additional Guidelines for Window Replacement: 6 of 7 criteria satisfied by the proposed project.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the alteration of the Mari-Jean Hotel (HPC 00-02), a local historic landmark of the St. Petersburg Register of Historic Places.

Recommended Conditions of Approval:

1. The frames of the replacement windows should have a similar finish and appearance to the frames of the windows, doors, and storefront systems installed on the first floor, so that the building's fenestrations have a cohesive and consistent appearance.
2. The existing openings and trim will be preserved, as proposed. Historic design, materials and forms are to be retained in-kind.
3. Windows shall be set within wall plane at least three inches to reference common historic configurations.
4. A historic preservation final inspection will be required.
5. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
6. This approval will be valid for 24 months beginning on the date of revocation of the local Emergency Declaration.

Appendix A:

Application No. 21-90200001



CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION

2349 Central Avenue

Property Address

Mari-Jean Hotel

Historic District / Landmark Name

Mari-Jean Hotel LLC / Elizabeth Street Lofts Inc

Owner's Name

175 Alt 19 S, Palm Harbor, FL 34683

Owner's Address, City, State, Zip Code

Dennis Lang, Architect / Tim Calandrino, Admin Assistant

Authorized Representative (Name & Title), if applicable

2000 34th Ave N, St Pete, FL 33713 / 2349 Central Ave, St Pete, FL 33701

Representative's Address, City, State, Zip Code

23-31-16-78390-020-0080

Parcel Identification No.

20-11000276

Corresponding Permit Nos.

1 (248) 789-4440

Property Owner's Daytime Phone No.

Mikeandon1@aol.com

Owner's Email

(727) 656-5677 / (727) 318-7488

Representative's Daytime Phone No.

Dennis.Lang@Lang-Ferfoggia.com

Representative's Email

timcalandrino@gmail.com

APPLICATION TYPE (check applicable)	
<input checked="" type="checkbox"/>	Addition
<input type="checkbox"/>	New Construction
<input type="checkbox"/>	Demolition
<input type="checkbox"/>	Relocation
<input type="checkbox"/>	Other:

TYPE OF WORK (check applicable)	
<input type="checkbox"/>	Repair Only
<input checked="" type="checkbox"/>	In-Kind Replacement
<input checked="" type="checkbox"/>	New Installation
<input type="checkbox"/>	Other:

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:

Michael Androniades

Date:

1-8-2021

Signature of Representative:

Dennis Lang

Date:

01/08/2021



CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (Laura.Duvekot@stpete.org) or Kelly Perkins (Kelly.Perkins@stpete.org).

PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
Window, Replacement		The non-historic windows that were installed on the second and third floor are leaking and damaging the building. We propose to replace those windows in the existing openings with a uniform window that replicates the historic aesthetic with modern vinyl materials into the historic openings.
Alterations & New Construction		New Pool and Exterior Bar with associated bathroom and seating areas for use of Hotel Guests and Public. This is compatible with the historic use of the building and supports its continued use and viability as a Historic Landmark.
Existing Elevations	1-6	Existing Elevations for Building & Courtyard Elevations



SOUTH ELEVATION (CENTRAL AVENUE)



SOUTH ELEVATION (CENTRAL AVENUE)

THIS ARCHITECTURAL DRAWING IS THE PROPERTY OF LANG + FERROGLIA ARCHITECTURE + DEVELOPMENT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THESE DRAWINGS. NO OTHER USES, REPRODUCTIONS, OR ALTERATIONS ARE PERMITTED WITHOUT THE WRITTEN CONSENT OF LANG + FERROGLIA ARCHITECTURE + DEVELOPMENT.

NO.	DATE	DESCRIPTION

REVISIONS

LANG + FERROGLIA
ARCHITECTURE + DEVELOPMENT

FL LICENSE # ARCHITECTURE 149818105
FL LICENSE # ARCHITECTURE 149818105
FL LICENSE # ARCHITECTURE 149818105

2348 CENTRAL AVENUE, ST PETERSBURG, 33713

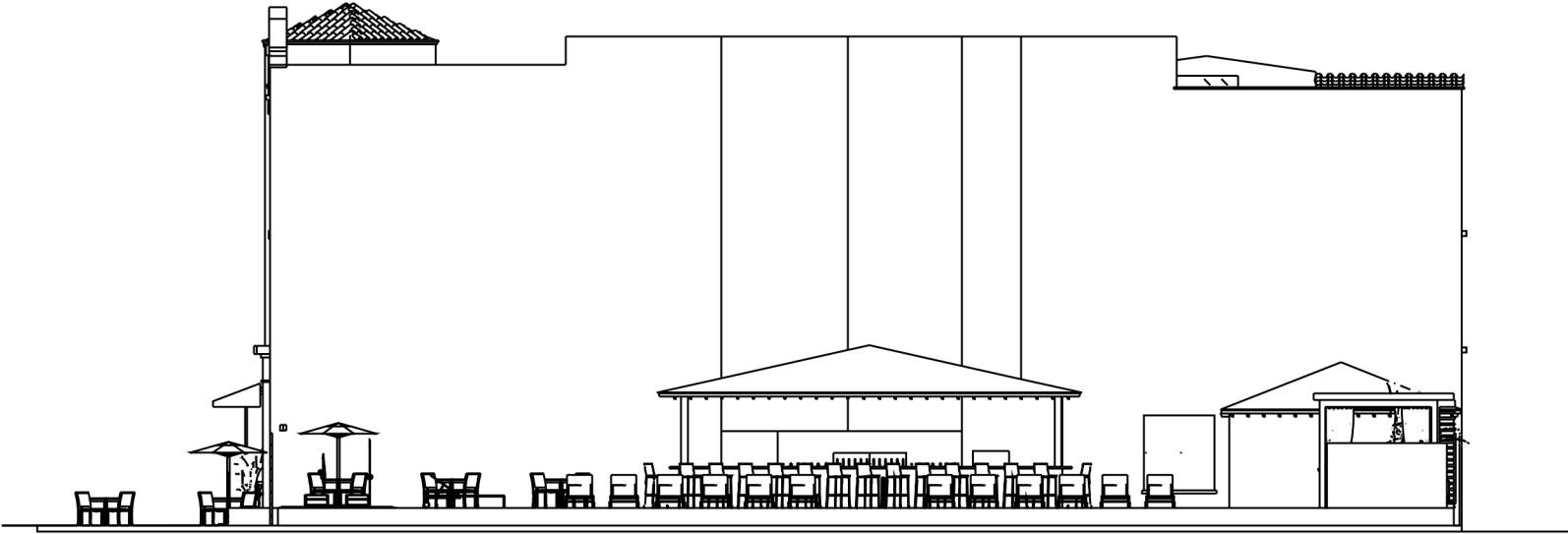
OWNER: LANG + FERROGLIA ARCHITECTURE + DEVELOPMENT
DATE: 2/27/2024

DRAWN BY: []
DATE: []
PROJECT #: []
SHEET: []

CONSULTANT



WEST ELEVATION (24th STREET N)



EAST ELEVATION (INTERIOR LOT)

I AM NOT PROVIDING CONTRACT DOCUMENTS TO ANY OTHER PARTY. ALL CONTRACTS AND DOCUMENTS ARE THE PROPERTY OF LANG + FERROGLIA ARCHITECTURE + DEVELOPMENT. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LANG + FERROGLIA ARCHITECTURE + DEVELOPMENT.

NO.	DATE	REVISIONS

LANG + FERROGLIA
ARCHITECTURE + DEVELOPMENT
 FL LICENSE # PROFESSIONAL ARCHITECTURE # 88161819
 FL LICENSE # PROFESSIONAL ARCHITECTURE # 123126
 2301 W. WASHINGTON AVENUE, SUITE 200
 TAMPA, FL 33606
 TEL: 813.277.9867

PROJECT #
 SHEET #

2948 CENTRAL AVENUE, ST PETERSBURG, 33713
 DRAWN BY:

CONTRACT #



Lic: # CGC-1508378

Contract

Date: 11-20-2020
To: Tim Calandrino
Email; timcalandrino@gmail.com
727-18-7488 cell

From: Peter Urso
Office: 727.525.3828
Email: Peter.urso@bcsi-fl.com
Phone: 727.483.9512 Fax:
Cell: 727.656.3240

Project Mari Jean Hotel

We appreciate this opportunity to serve you.

We will furnish the following

Permit, Materials and Labor

Supply and Install the following

1. Supply and install 140 Custom Windows Systems Storm Strong impact white vinyl single hung windows with Low E 366 and argon gas, energy star rated.

sizes as follows

(22) 39 3/4 x48

(90) 39 3/4 x 65 1/2

(8) 20x45 1/2

(4)36 1/4 x 73

(10)36 x 65 1/2

(2) 36 x 62

(4) 31 x 61 1/2

Remove existing windows

All areas will be left clean

Exclusions:

Anything other than material shown on this proposal.

Any wood rot or damage by water or insects

Painting is not included

Bid Proposal Amount: \$110,000.00

Deposit \$ 70,000.00

Balance due upon installation \$ 40,000.00

GENERAL CONDITIONS

The following conditions apply to all projects and will be attached to any contract presented to our firm.

1. Bay Glass & Window, Inc. will field measure all openings and a minimum 6-week lead time must be allowed for fabrication and glass procurement after measuring.
2. Our proposal is valid for thirty - [30] days from the date noted on this proposal.
3. Materials procurement for this project is a minimum 5-8 weeks from date all approvals are received. However, our lead times often fluctuate. There may be conditions that exist that make it impossible to guarantee delivery of products by any specified date.
4. Our products will be installed in a shop clean condition. Free of markings, tapes, and glass buttons. We will leave all manufacturer/fabricator glass labeling in place for building inspector use (as required by Code).
5. We include all fasteners, anchoring devices and attachments necessary to the installation of our products. Sealants required between our material and the surrounding exterior components are included. The sealants are to provide a weather seal.
6. Interior caulking between our material and other interior finished goods is included. .
7. All products carry a manufacturers' specific warranty – specific to the project and application. Bay Glass & Window, Inc. will pass those warranties on to the end user and Bay Glass & Window, Inc. will warrant its' installation for one year from the date of substantial completion.
8. Invoices not paid when due are subject to a 1-1/2% service charge per 30-day period until fully paid.
9. Utilization of this proposal assumes this proposal has been read and understood in its entirety by any and all who use it.
10. There will be a 3% charge when using credit cards.

Right to Cancellation. You The customer have three business days to cancel this contract.

You may email us or call or send by mail a copy of this contract.

I understand my rights to cancel, by signing below you will cancel this agreement

_____ **Date** _____
Sign here to cancel

Contract Accepted By

_____ **Date** _____

Bay Glass & Windows Inc.

_____ **Date** _____



SOUTH ELEVATION
(CENTRAL AVENUE)



PARTIAL WEST ELEVATION
(SOUTHWEST CORNER)



NO
PARKING
LOADING
UNLOADING
30 MINUTE

PARTIAL WEST ELEVATION
(24TH STREET)



PARTIAL WEST ELEVATION
(NORTHWEST CORNER)



NORTH ELEVATION
(ALLEY)



EAST ELEVATION
(NO WINDOWS THIS FACADE)



January 7, 2021

RE: Certificate of Appropriateness
Mari-Jean Hotel, Historic Contributing Landmark
2349 Central Avenue, St Petersburg, FL 33713

Evaluation Criteria

1. The Windows are Florida Product Approval Rated for Impact Resistant.
2. The Window is Energy Star Certified.
3. The historic placement of the window into the opening will be preserved and reproduced for installation of the new windows.
4. The replacement of the windows into the existing openings will be performed with the intent to preserve and maintain the existing trim and façade to the extent that is possible. Two items important to note are: firstly, the windows to be removed are not historic and are themselves replacement windows. And second, the need to replace these windows, at this time, is a direct result of water damage occurring at these openings and damaging the building and trim. All reasonable attempts will be made to preserve historic materials or replace them to align with the overall building façade for synchronicity.
5. The windows have been selected to emulate the historic aesthetic of the Mari-Jean Hotel and are appropriate to the overall building architectural style.
6. The windows that remain in the building are not historic, but based on available historic imagery, attempts have been made to select windows that match the historic aesthetic with a commercially available window that meet the performance criteria noted prior.
 - a. No mullions appear to have existed in the historic openings.
 - b. No vertical stiles appear to have existed in the historic openings.
 - c. No historic windows remain to measure the original dimensions; however, windows were selected with the vendor to approach the historic aesthetic with these conditions in mind.
7. The new windows will improve the clarity of the façade by unifying the window treatment to the entire building and providing for a singular treatment to their trim and finish.

Thank you,

Dennis Lang, Architect, AIA
Lang + Ferfoglia | Architecture + Development

The Home Depot Special Order Quote

Customer Agreement #: H0257-417381
 Printed Date: 2/18/2021

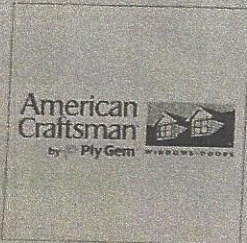
Holtzman

Customer: MICHAEL ANDONIADES
Address: 175 US ALT 19 S
 PALM HARBOR, FL 34683
Phone 1: 248-789-4440
Phone 2: 407-860-0745
Email: MIKEANDON1@AOL.COM

Store: 0257
Associate: GERARD
Address: 2300 22ND AVE NORTH
 SAINT PETERSBURG, FL
 33713
Phone: 727-898-1100

Pre-Savings Total: \$1,136.87
Total Savings: (\$0.00)
Pre-Tax Price: \$1,136.87
*4/1/21 est 4/6
 Central Phase 1A*

All prices are subject to change. Customer is responsible for verifying product selections. The Home Depot will not accept returns for the below products



*or lnd miguel
 col. am*



Standard Width = Custom
 Standard Height = Custom
 Frame Width = 39 3/4
 Frame Height = 48

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total
100-1	70 Series Block Impact Single-Hung-2127IMPACT Equal Sash, Fixed/Active, 39.75 x 48, White / White	\$514.53	\$514.53	1	\$0.00	\$514.53
Unit 100 Total:		\$514.53	\$514.53		\$0.00	\$514.53

Begin Line 100 Description

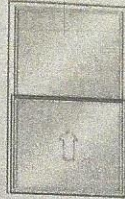
--- Line 100-1 ---

70 Series Block Impact Single-Hung-2127IMPACT
 Overall Rough Opening = 40 1/4" x 48 1/2"
 Overall Unit = 39 3/4" x 48"
 Installation Zip Code = 33713
 U.S. ENERGY STAR® Climate Zone = Southern
 ENERGY STAR Required = Yes
 Standard Width = Custom
 Standard Height = Custom
 Frame Width = 39 3/4
 Frame Height = 48
 Tip To Tip Flange Width = 40.75
 Tip To Tip Flange Height = 49
 Venting / Handing = Fixed/Active
 Exterior Color = White

Interior Finish Color = White
 Performance Rating = PG55 / DP 55/60
 Glass Construction Type = Dual Pane
 Glass Option = Low-E SC Argon
 High Altitude Breather Tubes = No
 Glass Strength = Impact Resistant
 Glass Tint = No Tint
 Specialty Glass = None
 Gas Fill = Argon
 None
 Hardware Color/Finish = White
 Number of Sash Locks = Double
 Lock Type = Standard

Insect Screen Type = Half Screen
 Insect Screen Material = Fiberglass
 Room Location =
 Unit U-Factor = 0.34
 Unit Solar Heat Gain Coefficient (SHGC) = 0.23
 U.S. ENERGY STAR Certified = Yes
 Florida Product Approval Number (FL#) = 14911
 High Velocity Hurricane Zone (HVHZ) = Yes
 SKU = 1000026796
 Vendor Name = S/O SILVER LINE BLDG PRD
 Vendor Number = 60660514
 Customer Service = (888) 504-0005
 Catalog Version Date = 01/13/2021

End Line 100 Description



Standard Width = Custom
 Standard Height = Custom
 Frame Width = 39 3/4
 Frame Height = 65 1/2

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
200-1	70 Series Block Impact Single-Hung-2127IMPACT Equal Sash, Fixed/Active, 39.75 x 65.5, White / White	\$622.34	\$622.34	1	\$0.00	\$622.34
Unit 200 Total:		\$622.34	\$622.34		\$0.00	\$622.34

Begin Line 200 Description

---- Line 200-1 ----

70 Series Block Impact Single-Hung-2127IMPACT
 Overall Rough Opening = 40 1/4" x 66"
 Overall Unit = 39 3/4" x 65 1/2"
 Installation Zip Code = 33713
 U.S. ENERGY STAR® Climate Zone = Southern
 ENERGY STAR Required = Yes
 Standard Width = Custom
 Standard Height = Custom
 Frame Width = 39 3/4
 Frame Height = 65 1/2
 Tip To Tip Flange Width = 40.75
 Tip To Tip Flange Height = 66.5
 Venting / Handing = Fixed/Active
 Exterior Color = White

Interior Finish Color = White
 Performance Rating = PG55 / DP 55/60
 Glass Construction Type = Dual Pane
 Glass Option = Low-E SC Argon
 High Altitude Breather Tubes = No
 Glass Strength = Impact Resistant
 Glass Tint = No Tint
 Specialty Glass = None
 Gas Fill = Argon
 None
 Hardware Color/Finish = White
 Number of Sash Locks = Double
 Lock Type = Standard

Insect Screen Type = Half Screen
 Insect Screen Material = Fiberglass
 Room Location =
 Unit U-Factor = 0.34
 Unit Solar Heat Gain Coefficient (SHGC) = 0.23
 U.S. ENERGY STAR Certified = Yes
 Florida Product Approval Number (FL#) = 14911
 High Velocity Hurricane Zone (HVHZ) = Yes
 SKU = 1000026796
 Vendor Name = S/O SILVER LINE BLDG PRD
 Vendor Number = 60660514
 Customer Service = (888) 504-0005
 Catalog Version Date = 01/13/2021

End Line 200 Description

PREMIUM QUALITY VINYL WINDOWS & DOORS



American Craftsman ranked
"Highest in Customer Satisfaction
with Windows and Patio Doors"
by J.D. Power.*

*American Craftsman received the highest numerical score among 16 companies in the J.D. Power 2017 Windows & Patio Doors Satisfaction Study, based on 1,904 total responses, measuring the experiences and perceptions of customers who purchased windows and/or patio doors in the previous 12 months, surveyed February—March 2017. Your experiences may vary. Visit jdpower.com.



5 Replacement vs. Remodel/New Construction

6 Windows
16 Patio Doors

18 Options & Accessories
24 Size Charts

31 Comparison Chart



70 Series Casement and Picture Windows

American Craftsman®
by Andersen  WINDOWS • DOORS

Quality you expect from a brand you can trust.

American Craftsman® is the brand of vinyl windows and patio doors that not only offers energy efficiency, low maintenance and affordability but the confidence and peace of mind that includes a limited lifetime warranty.

Our products are designed and manufactured with the quality you expect from an Andersen company. So if you are considering vinyl windows for your home, look to American Craftsman products, from the company with the most recognized brand of windows and patio doors in America.



**American Craftsman ranked
"Highest in Customer Satisfaction
with Windows and Patio Doors"
by J.D. Power.***

*American Craftsman received the highest numerical score among 16 companies in the J.D. Power 2017 Windows & Patio Doors Satisfaction Study, based on 1,904 total responses, measuring the experiences and perceptions of customers who purchased windows and/or patio doors in the previous 12 months, surveyed February — March 2017. Your experiences may vary. Visit jdpower.com.



Classic styling for enhanced curb appeal.

70 Series products are a full portfolio of premium quality, energy-efficient, low-maintenance windows and patio doors. They feature an enhanced design with wider profiles to emulate the look of traditional wood windows. Available with a variety of colors and grille patterns for any style and ENERGY STAR® certified glass options.

See pages 6, 10, 11, 12, 13, 16.



For coastal areas, we offer StormDefense™ Protection on 70 Series windows and patio doors. This includes impact-resistant glass and structural reinforcements to help you protect your home from the harshest coastal weather conditions.*

See pages 10, 11, 12, 13, 16, 21.

*See your code official for local code requirements.



Simplified design for the budget-minded.

50 Series products offer affordability without sacrificing quality. With a simplified design that maximizes light and view for a more contemporary look, these products are low maintenance inside and out and are ENERGY STAR® certified with select glass options.

See pages 9, 11, 13, 17.

Which window is right for your project?

No matter if you're replacing existing windows or adding windows to a new opening, American Craftsman has a variety of window styles and options to choose from. New windows can provide better insulation, which can help reduce your energy bill, and add style by enhancing your home's curb appeal.



Replacement

Designed to fit inside existing window frames

Replacing old windows with new ones can make an impressive change to your home. Replacement windows fit into the existing window frame, allowing you to update your house with minimal disruption while saving you time and money.

See pages 6, 9, 12, 13.

- Cost-effective upgrade that enhances your home's curb appeal.
- Minimal disruption to your interior trim and exterior siding.
- Improved window operation.
- Easy for do-it-yourselfers.
- Custom sizes to fit any window opening for a fast, weathertight installation.
- ENERGY STAR® certified glass options available for any climate to help reduce energy costs.



Remodel or New Construction

Made for new walls or window openings

Whether you're building a new home, putting on an addition, or creating a new window opening, we have a variety of window styles, options and configurations to let you be creative.

See pages 10, 11, 12, 13.

- Frame options include a nailing flange with or without a J-channel for fast, weathertight installation.
- When using siding on the exterior of your home, a J-channel allows you to attractively trim the siding to the window.
- ENERGY STAR® certified options are available for any climate to help reduce energy costs.





70 Series Single-Hung Windows

70
SERIES

Single-Hung for Remodel/New Construction

- Decorative brickmould exterior frame enhances your home's curb appeal.
- Bottom window sash opens for ventilation and tilts in for easy cleaning.
- J-channel allows for attractive trimming of exterior siding and saves you the time and money of installing it separately.



- Available with StormDefense™ Protection.* See page 21 for details.



CUSTOM SIZES



50 Series Single-Hung Window

50
SERIES

Single-Hung for Remodel/New Construction

- Slim profiles for maximum light and a contemporary look.
- Flat exterior frame for a clean and modern appearance.
- Bottom window sash opens and tilts in for easy cleaning.



CUSTOM SIZES



*See your code official for local code requirements.



70 Series Casement and Specialty Windows

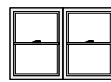
Consider enhancing your view.

Specialty windows

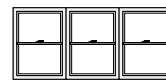
Specialty windows are stationary windows that do not operate and are available in a variety of shapes and sizes to help maximize your view and add light to your home.

Combination windows

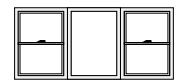
Create window combinations where various shapes and sizes are placed together to make a statement, let in more sunlight, and create a better view of the outdoors.



Twin
Double-Hung



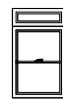
Triple
Double-Hung



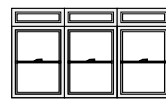
Picture Window with
Double-Hung Flankers



Equal Leg
Arch Over
Double-Hung



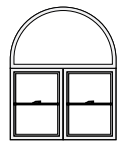
Transom
Over
Double-Hung



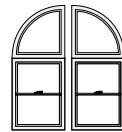
Triple Transom
Over Triple
Double-Hung



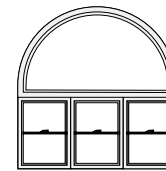
Half Circle
Over
Double-Hung



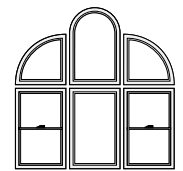
Half Circle
Over Twin
Double-Hung



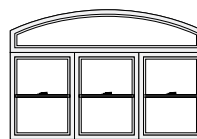
Quarter Circle
Over Double-Hung



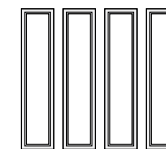
Half Circle Over
Triple Double-Hung



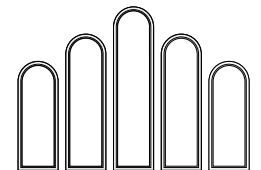
Quarter Circles,
Springline, Double-Hungs
and Picture Window



Equal Leg Arch
Over Triple Double-Hung



Picture Windows



Springline Windows

Choices that make American Craftsman windows your own.



Colors

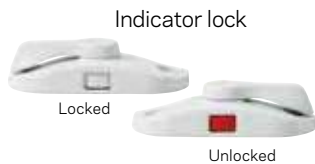
Available in White, Beige, Sandtone and Dark Bronze.



*Dark Bronze has a white interior. Printing limitations prevent exact color replication.

Window Hardware

Durable hardware color-matched to the interior of the window.



Patio Door Hardware



Wireless Open/Closed Sensors

When you want the peace of mind of knowing whether your windows and patio doors are open or closed, these sensors are a simple, reliable solution.

Available for use on all 70 Series windows and patio doors.

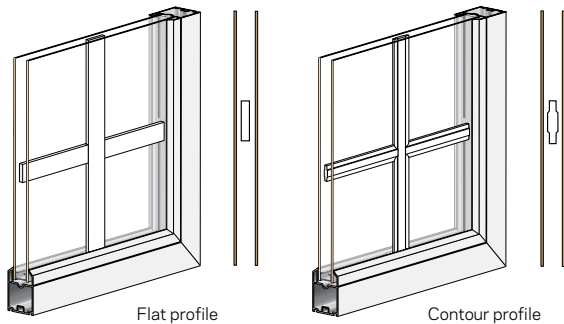
For more details, visit: americancraftsmanwindows.com/connect



Grille Options

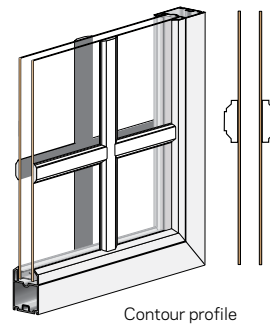
Grilles between the glass

Grilles between the glass add style to your windows and doors and make cleaning easy.



Simulated divided light

Grilles are permanently applied to the glass,* providing a more authentic look.



Finishing Accessories

Our windows designed for remodeling or new construction are available with various finishing options for a quick and professional finish.



Flat exterior trim

Exterior trim complements the architectural style of your home. Our trim is factory applied, so it saves installation time and adds to the window's weathertightness. (Available on the 70 Series double-hung window.)



EXTENSION JAMB

Extension jambs

Extension jambs are used to increase depth of the window jamb to match the wall depth. Available in factory applied 4-9/16" or 6-9/16" wall depth, in either unfinished or primed wood, for easier installation.



DRYWALL CHANNEL

Drywall return

Used instead of extension jambs and interior trim to create a clean transition from window to drywall. Factory applied channel surrounds the window and allows drywall to slide into it for a clean finish around your window. Accommodates both 1/2" and 5/8" drywall.



WITH J-CHANNEL

J-channel

The built-in J-channel is necessary for easy and attractive trimming of vinyl siding. Not only does it make your job easier, but it also saves you the time and money of installing it separately.

* Available only on certain products. Ask a sales associate for details.

Performance comparison of glass options.

No matter what type of project you're doing or where you live, American Craftsman has a glass option that is ENERGY STAR® certified and fits the needs of your home.

GLASS	ENERGY		LIGHT	
	U-FACTOR	SOLAR HEAT GAIN COEFFICIENT	VISIBLE LIGHT TRANSMITTANCE	UV PROTECTION
Low-E A great option for climates where both heating and cooling costs are a concern.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
Low-E SmartSun™ Glass option with thermal control similar to tinted glass but with a visible light transmittance closer to clear glass.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
Low-E Sun Outstanding thermal control for southern climates where less solar heat gain is desired.	★★★★☆	★★★★☆	★★★★☆	★★★★★
Low-E PassiveSun® Allows more heat from the sun into your home, helping to reduce heating costs during colder months.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
Low-E PassiveSun® with HeatLock® Technology The addition of our room-side HeatLock® coating can help products with PassiveSun® glass meet performance requirements.*	★★★★☆	★★★☆☆	★★★★☆	★★★★☆
Clear Dual-Pane Basic thermal performance with high visibility.	★☆☆☆☆	☆☆☆☆☆	★★★★★	☆☆☆☆☆

Center of glass performance only. Ratings based on glass options available as of June 2015.

*Stringent ENERGY STAR® requirements in the northern climate zone.

DID YOU KNOW?

Argon gas blend is an available upgrade for all American Craftsman glass to increase insulation and performance.



70 Series Double-Hung Windows with StormDefense™ Protection

Impact-resistant glass for coastal areas.



Our products with StormDefense™ Protection include impact-resistant glass and structural upgrades. Designed for coastal areas,* impact-resistant glass from American Craftsman has a layer of clear polymer between two sheets of glass, providing a layer of protection from damaging coastal weather. In addition, an insulating air space helps to keep homes cool in warm months.

The benefits of impact-resistant glass:



Storm protection
Helps protect home against extreme weather and flying debris.



Sound reduction
Reduces exterior noise for a quieter environment.



Saves energy
Helps shield homes from the sun's heat, keeping your home cool and lowering energy costs.



Sun protection
Helps reduce damaging UV rays from coming into your home.



Safety
Provides forced-entry resistance for peace of mind.

*See your code official for local code requirements.



Single-Hung

Window and rough opening sizes

NOTES

Cottage or reverse cottage sash ratio available. Check rail is offset 6" up (cottage) or 6" down (reverse cottage) from equal sash location.

Cottage (Reverse Oriel):

CUSTOM WIDTHS:
16" to 52"

CUSTOM HEIGHTS:
42" to 72"

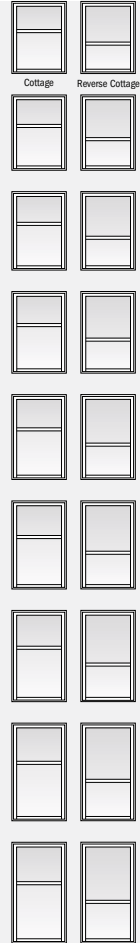
Reverse Cottage (Oriel):

CUSTOM WIDTHS:
16" to 52"


CUSTOM HEIGHTS:
42" to 84"

Exterior J-Channel Dimension	19"	21"	25"	29"	31"	33"	37"	39"	41"	43"	45"	49"
Window Dimension	18"	20"	24"	28"	30"	32"	36"	38"	40"	42"	44"	48"
Minimum Rough Opening	18 1/2"	20 1/2"	24 1/2"	28 1/2"	30 1/2"	32 1/2"	36 1/2"	38 1/2"	40 1/2"	42 1/2"	44 1/2"	48 1/2"
Unobstructed Glass (lower sash only)	13"	15"	19"	23"	25"	27"	31"	33"	35"	37"	39"	43"

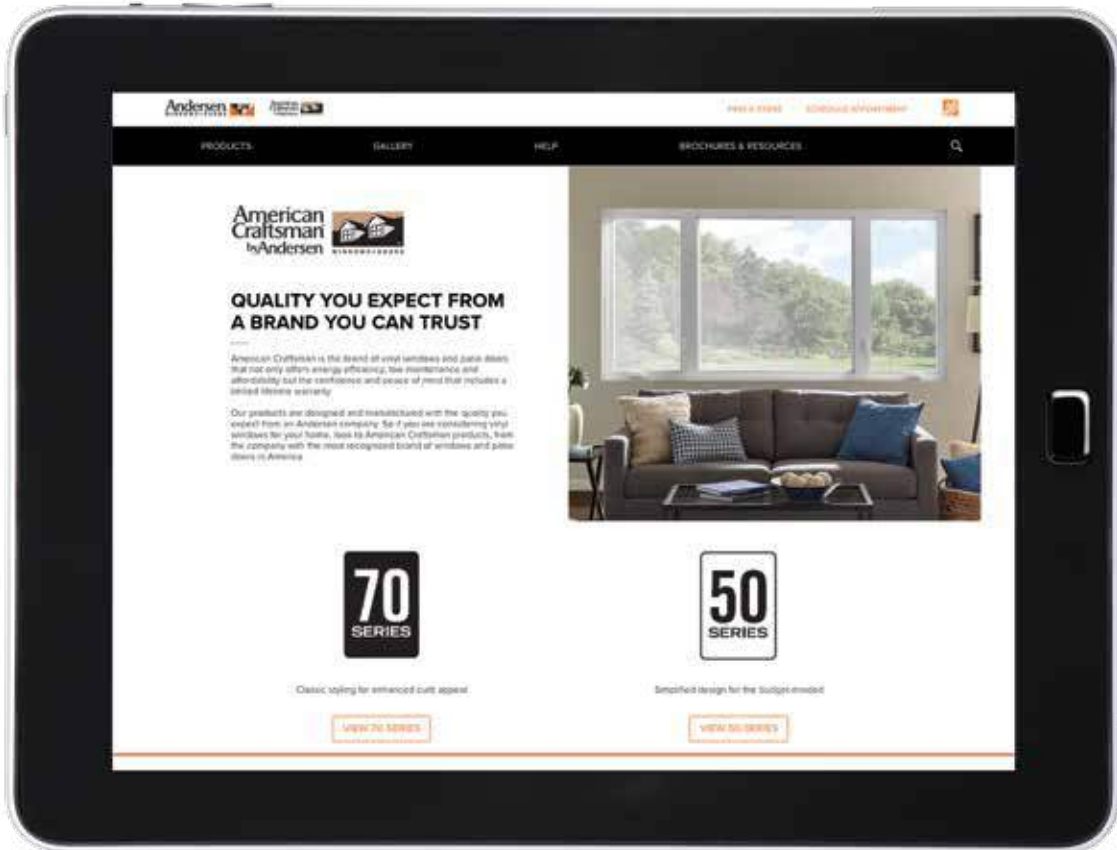
CUSTOM HEIGHTS - 24" to 84"	CUSTOM WIDTHS - 16" to 52"												
	1630	1830	2030	2430	2630	2830	3030	3230	3430	3630	3830	4030	
37"													
39"													
45"													
47"													
49"													
51"													
53"													
55"													
57"													
61"													
63"													
	1632	1832	2032	2432	2632	2832	3032	3232	3432	3632	3832	4032	
	1638	1838	2038	2438	2638	2838	3038	3238	3438	3638	3838	4038	
	16310	18310	20310	24310	26310	28310	30310	32310	34310	36310	38310	40310	
	1640	1840	2040	2440	2640	2840	3040	3240	3440	3640	3840	4040	
	1642	1842	2042	2442	2642	2842	3042	3242	3442	3642	3842	4042	
	1644	1844	2044	2444	2644	2844	3044	3244	3444	3644	3844	4044	
	1646	1846	2046	2446	2646	2846	3046	3246	3446	3646	3846	4046	
	1648	1848	2048	2448	2648	2848	3048	3248	3448	3648	3848	4048	
	1650	1850	2050	2450	2650	2850	3050	3250 [◇]	3450 [◇]	3650 [◇]	3850 [◇]	4050 [◇]	
	1652	1852	2052	2452	2652	2852	3052 [◇]	3252 [◇]	3452 [◇]	3652 [◇]	3852 [◇]	4052 [◇]	



• "Window Dimension" always refers to inside frame to frame dimension.
 • "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
 ◇ Meet or exceed clear opening area of 5.7 sq. ft., clear opening width of 20" and clear opening height of 24".

WINDOW & DOOR FEATURES		WINDOWS										DOORS		
		70 SERIES 70 Series Pro Double-Hung (Replacement)	50 SERIES 50 Series Double-Hung (Replacement)	70 SERIES 70 Series Double-Hung (Remodel/ New Construction)	70 SERIES 70 Series Single-Hung (Remodel/ New Construction)	50 SERIES 50 Series Single-Hung (Remodel/ New Construction)	70 SERIES 70 Series Casement (Replacement & Remodel/ New Construction)	70 SERIES 70 Series Awning (Replacement & Remodel/ New Construction)	70 SERIES 70 Series Gliding (Replacement & Remodel/ New Construction)	50 SERIES 50 Series Gliding (Replacement & Remodel/ New Construction)	70 SERIES 70 Series Gliding Patio Door	50 SERIES 50 Series Gliding Patio Door		
EXTERIOR/INTERIOR COLOR*														
	White	●	●	●	●	●	●	●	●	●	●	●	●	●
	Beige	●	●	●	●	●	●	●	●	●	●	●	●	●
	Sandtone	●		●	●		●	●	●			●		
	Dark Bronze*	●		●	●		●	●	●			●		●
GLASS														
	Low-E	●	●	●	●	●	●	●	●	●	●	●	●	●
	Low-E SmartSun	●	●	●	●	●	●	●	●	●	●	●	●	●
	Low-E Sun	●	●	●	●	●	●	●	●	●	●	●	●	●
	Low-E PassiveSun®	●	●	●	●	●	●	●	●	●	●	●	●	●
	Low-E PassiveSun® with HeatLock® Technology	●	●	●	●	●	●	●	●	●	●	●	●	●
	Clear Dual Pane	●	●	●	●	●	●	●	●	●	●	●	●	●
ENERGY STAR GLASS OPTIONS		●	●	●	●	●	●	●	●	●	●	●	●	●
GRILLES & BLINDS														
	Simulated Divided Light	●		●			●	●	●**			●		
	Finelight (Grilles Between the Glass)	●	●	●	●	●	●	●	●	●	●	●	●	●
	Blinds Between the Glass											●	●	
STORMDEFENSE™ PROTECTION				●	●		●	●	●***			●		
CUSTOM SIZES 		●	●	●	●	●	●	●				●		
WIRELESS OPEN CLOSED SENSORS		●		●	●		●	●	●			●		

*Dark bronze exterior units come with white interiors.
 ** Simulated divided light only available with replacement frame.
 *** StormDefense only available with replacement frame.



Visit americancraftsmanwindows.com



Many American Craftsman windows and patio doors have options that make them ENERGY STAR[®] v. 6.0 certified throughout the U.S.

Sold exclusively at
The Home Depot[®]



PROPOSED PROJECT FOR:

Exterior Pool and Bar Addition

2349 CENTRAL AVE, ST PETERSBURG, FL 33713

PER HISTORICAL CERTIFICATE OF APPROPRIATENESS APPROVAL

CASE NUMBER: 18-90200052

SCOPE OF WORK:

THESE DOCUMENTS ARE FOR THE CONSTRUCTION OF A NEW EXTERIOR POOL, EXTERIOR BAR ADDITION & INTERIOR KITCHEN ADDITION TO AN EXISTING FREE-STANDING HOTEL BUILDING THAT ENCOMPASSES COMPLIANCE WITH FBC 2017.

THERE ARE NO PROPOSED INTERIOR MODIFICATIONS TO THE EXISTING HOTEL BUILDING OR EXISTING EGRESS COMPONENTS, OTHER THAN THE INTERIOR KITCHEN ADDITION WITHIN AN EXISTING STORAGE ROOM THAT WILL SERVICE THE NEW EXTERIOR POOL & EXTERIOR BAR ADDITION.

THE NEW EXTERIOR BAR AS PROPOSED WILL BE CONNECTED TO THE EXISTING HOTEL BUILDING & WILL BE FULLY SPRINKLED AS REQUIRED. THE REMAINING EXTERIOR SUPPORT BUILDINGS (RESTROOMS, MUSIC CABANA & UTILITY ROOM ARE FREE-STANDING COMPONENTS, NOT CONNECTED TO THE EXISTING HOTEL BUILDING & ARE NOT PROPOSED TO BE SPRINKLED.

THERE ARE NO ENVIRONMENTAL OR SOILS CONDITIONS THAT REQUIRE REMEDIATION OR SPECIAL CONDITIONS.

MECHANICAL, ELECTRICAL AND PLUMBING TO BE INSTALLED IN ACCORDANCE WITH PLANS & COMPLY WITH:

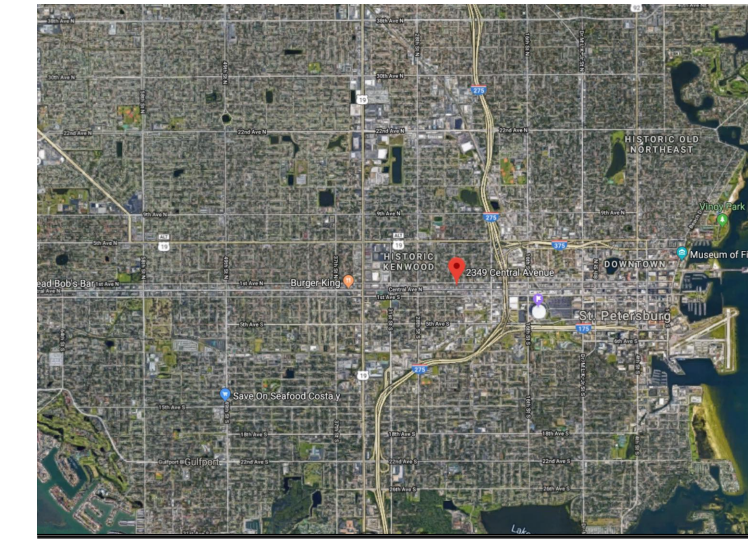
- FBC-2017
- FBC-MECHANICAL 2017
- NEC-2014 & FBC-ELECTRICAL 2017
- FBC-PLUMBING 2017

THE EXISTING BUILDING IS FULLY SPRINKLED, AND MEETS ALL APPLICABLE ASPECTS OF THE FOLLOWING:

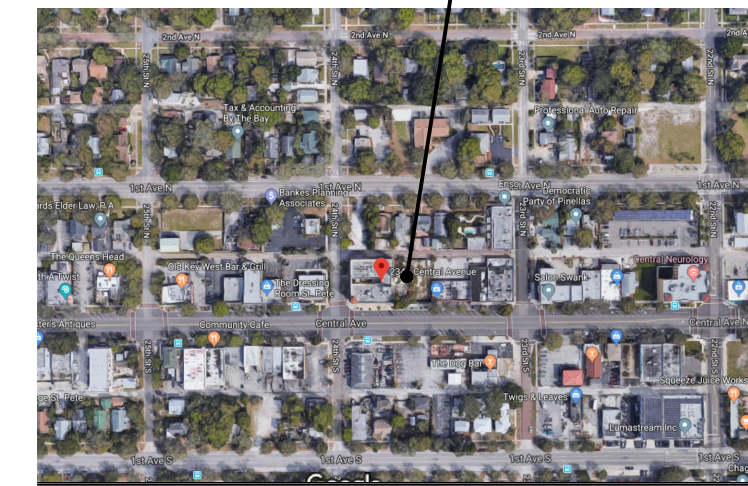
- FLORIDA FIRE PREVENTION CODE, 7TH EDITION
- ALL EXISTING ROOFING IS IN COMPLIANCE WITH FBC 2017 CHAPTER 15 (ROOFING).

THE CONSTRUCTION OF ALL ASPECTS OF THE BUILDING WILL CONFORM TO ALL COUNTY, STATE, AND FEDERAL REGULATIONS AS REQUIRED.

VICINITY MAP:



AERIAL:



BUILDING CODE SUMMARY:

BUILDING DATA:	
OCCUPANCY:	<input type="checkbox"/> ASSEMBLY <input type="checkbox"/> BUSINESS <input type="checkbox"/> EDUCATIONAL <input type="checkbox"/> MERCANTILE <input type="checkbox"/> HAZARDOUS <input type="checkbox"/> FACTORY-INDUSTRIAL <input type="checkbox"/> INSTITUTIONAL <input checked="" type="checkbox"/> RESIDENTIAL (R-1) <input type="checkbox"/> UTILITY MISCELLANEOUS
MIXED OCCUPANCY:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
CONSTRUCTION TYPE:	SEPARATION: SEE EXISTING FIRE RESISTANCE RATING BELOW MIXED CONSTRUCTION: <input type="checkbox"/> I (A) <input type="checkbox"/> I (B) <input type="checkbox"/> II (A) <input type="checkbox"/> II (B) <input type="checkbox"/> III (A) <input type="checkbox"/> III (B) <input type="checkbox"/> IV (A) <input type="checkbox"/> IV (B)
SPRINKLED:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (1.3 1.3K 1.3D) : 1.3
FIRE DISTRICT:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
BUILDING HEIGHT:	3 NUMBER OF STORES
MEZZANINE:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
HIGH RISE:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
BUILDING AREA:	28,346 S.F.
EXISTING BUILDING G.P.A.:	"NO CHANGE IN G.P.A."

EXISTING FIRE RESISTANCE RATINGS**	REQUIRED HOURLY ***	DETAIL / SHEET #	% WALL OPENING	DESIGN NO. FOR RATED ASSEMBLIES
PARTY FIRE WALLS:	1-HOUR			
EXTERIOR BEARING WALLS:				
NORTH:	2-HOUR			
EAST:	2-HOUR			
WEST:	2-HOUR			
SOUTH:	2-HOUR			
EXTERIOR NON-BEARING WALLS:				
NORTH:	N/A			
EAST:	N/A			
WEST:	N/A			
SOUTH:	N/A			
INTERIOR WALLS:				
NON-BEARING (MTL. STUD) CORRIDOR WALLS:	N/A			
NON-BEARING (MTL. STUD) WALLS OF ROOMS INCIDENTAL TO MAIN OCCUPANCY:	N/A			
NON-BEARING:	N/A			
TENANT SEPARATION:	1-HOUR			
FLOOR ASSEMBLIES:				
CEILING ASSEMBLIES:	1-HOUR			
FLOOR/CEILING ASSEMBLIES:	1-HOUR			
PIPE PENETRATIONS:	N/A			
BEAMS / ANGLES, ETC.:	N/A			
COLLARS, GIRDERS, ETC.:	N/A			
CEILING-MEMBRANE-ROOF ASSEMBLY:	N/A			
VERTICAL CHASIS, P.E.M.:	N/A			
CHASIS, P.E.M.:	N/A			
DUCT PENETRATIONS & FIRE DAMPERS:	N/A			
UNIT SEPARATION:	1-HOUR			

APPLICABLE CODES:	LIFE SAFETY SYSTEM:
2017 FLORIDA BUILDING CODE (F.B.C.)	EMERGENCY LIGHTING AND EXIT SIGNAGE
DESIGNED IN ACCORDANCE WITH 2017 F.B.C. SECTION 1.606 FOR DESIGN PRESSURES GENERATED BY A WIND DESIGN VELOCITY OF 160 MPH	FIRE ALARM <input type="checkbox"/> YES <input type="checkbox"/> NO
CONTRACTOR SHALL SECURE FROM BLOCK MANUFACTURER DOCUMENTATION OF EQUIVALENT THICKNESS AND TYPE OF MATERIALS OR PROOF OF TESTED HOURLY RATING FOR BLOCK DELIVERED TO THE JOB SITE AS PER F.B.C. TABLE 709.3.1	SMOKE DETECTION SYSTEMS <input type="checkbox"/> YES <input type="checkbox"/> NO
	PANIC HARDWARE <input type="checkbox"/> YES <input type="checkbox"/> NO

WINDS:

WINDS APPLIED PER ASCE 7-10, BUILDINGS OF ALL HEIGHTS	
ANALYTICAL METHOD	
BASIC WIND SPEED:	160 MPH
WIND IMPORTANCE FACTOR (CATEGORY 2):	1.0
WIND EXPOSURE:	C
APPLICABLE INTERNAL PRESSURE COEFFICIENT:	+/- 1.0 (ENCLOSED)
COMPONENTS AND CLADDING SEE STRUCTURAL SHEET FOR ALL DESIGN PRESSURES	
NOTE: FOLLOW MANUFACTURERS INSTRUCTIONS FOR NUMBER OF JAMB CLIPS, SPACING AND ANCHOR SIZES.	

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A1.2	NEW ROOF PLANS
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A5.0	SCHEDULES AND DETAILS

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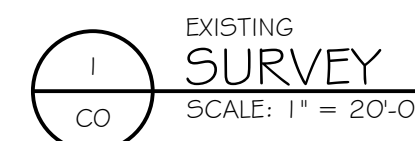
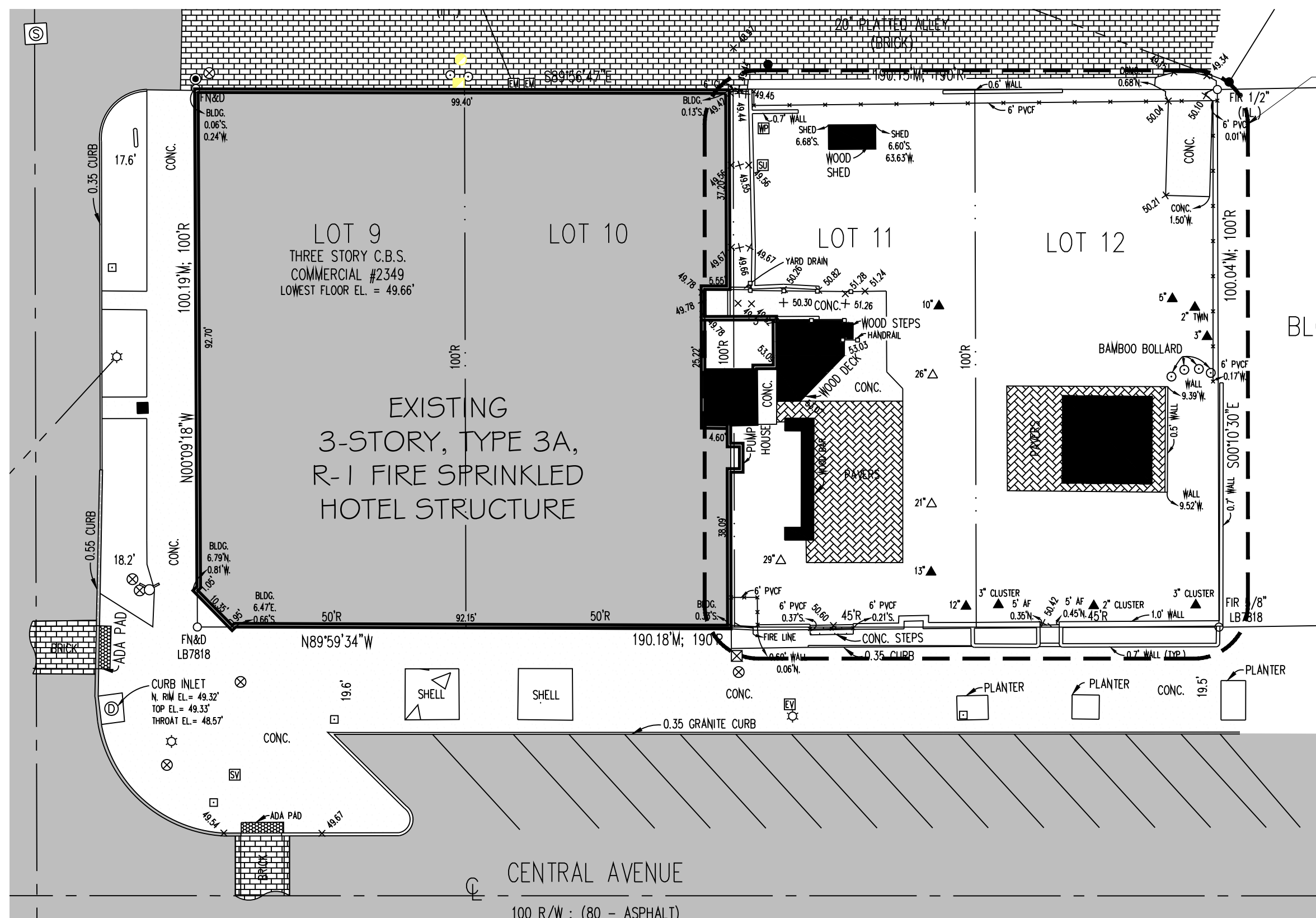
ELECTRICAL	
ET	ELECTRICAL SPECIFICATIONS
E2	ELECTRICAL LEGEND & DETAILS
E3	ELECTRICAL LIGHTING PLAN
E4	ELECTRICAL POWER PLAN
E5	ELECTRICAL RISER DIAGRAM
E6	ELECTRICAL PANEL SCHEDULES
E7	ELECTRICAL LIGHTING DETAILS

ARCHITECTURAL PRODUCT APPROVALS

TPO ROOFING	FL# 5293.1
METAL BARREL TILE ROOF	FL# 11422.6
METAL DOOR WITH LOUVER	FL# 16494
STRUCTURAL SIMPSON CONNECTORS	FL# 10860
	FL# 10456
	FL# 13872
	FL# 13904

CONSULTANTS:

ARCHITECT:	CIVIL:	MECHANICAL & PLUMBING:	ELECTRICAL:
LANG + FERFOGLIA, LLC 6 BELLEVUE DRIVE TREASURE ISLAND, FL 33706 727-656-5677 DENNIS LANG, ARCHITECT, AIA INFO@LANG-FERFOGLIA.COM	PATRICIA MONTECKI, P.E. 5032 CHANCELLOR STREET NE ST PETERSBURG, FL 33703 727-255-1650 PATRICIA MONTECKI MONTECKI@TAMFABAY.RR.COM	MDCI FLORIDA 405 2ND STREET S, SUITE B SAFETY HARBOR, FL 34695 727-698-0398 TOM FERRARO TOM@MDCIFLORIDA.COM	EC & D INCORPORATED 10800 BRIGHTON BAY, #21102 ST PETERSBURG, FL 33716 727-289-6215 BILL RITOLA BILL@EC-D.US



PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE HISTORICAL CERTIFICATE OF APPROPRIATENESS APPROVAL. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

REVISIONS	
NO	DATE
1	Δ

CONSULTANT

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT
 LICENSE #A18100251 AIA REGISTRATION #89211970
 6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
 TEL: (727) 656-5677

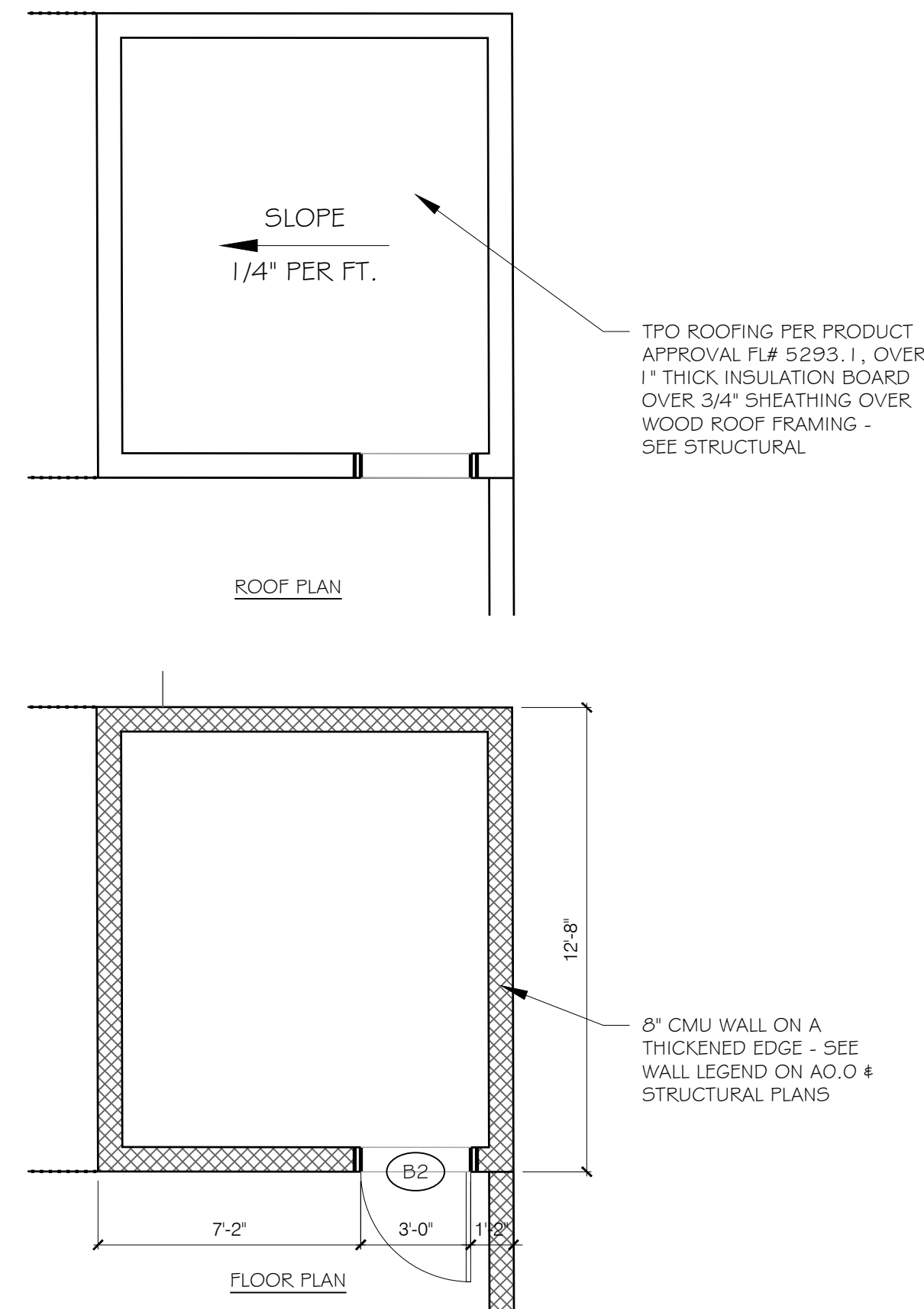
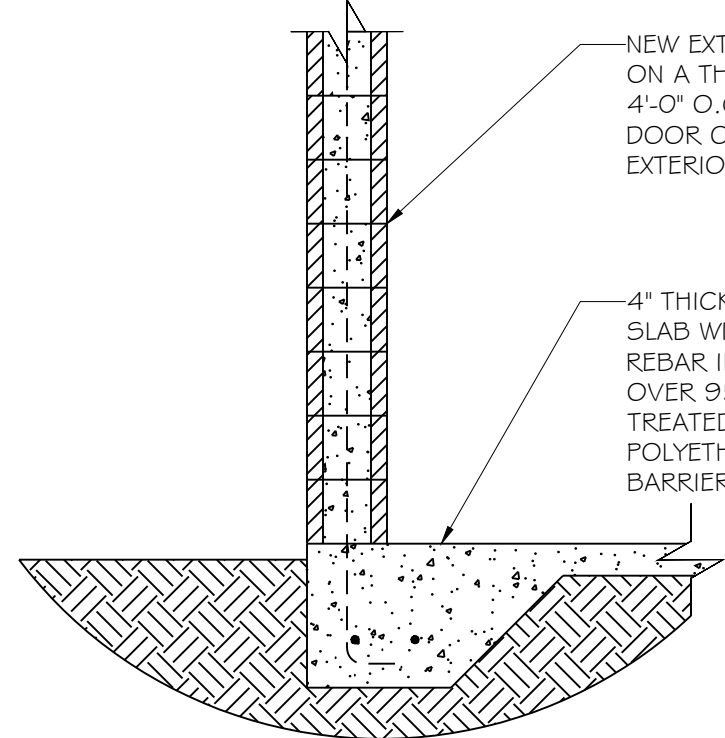
STATE OF FLORIDA
DENNIS G. LANG
 AIA REGISTRATION #8100758
 08/31/2020
 REGISTERED ARCHITECT

EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 DRAWN BY: DL / SFF
 DATE: 8-31-20
 PROJECT #: 1905
 SHEET: CO

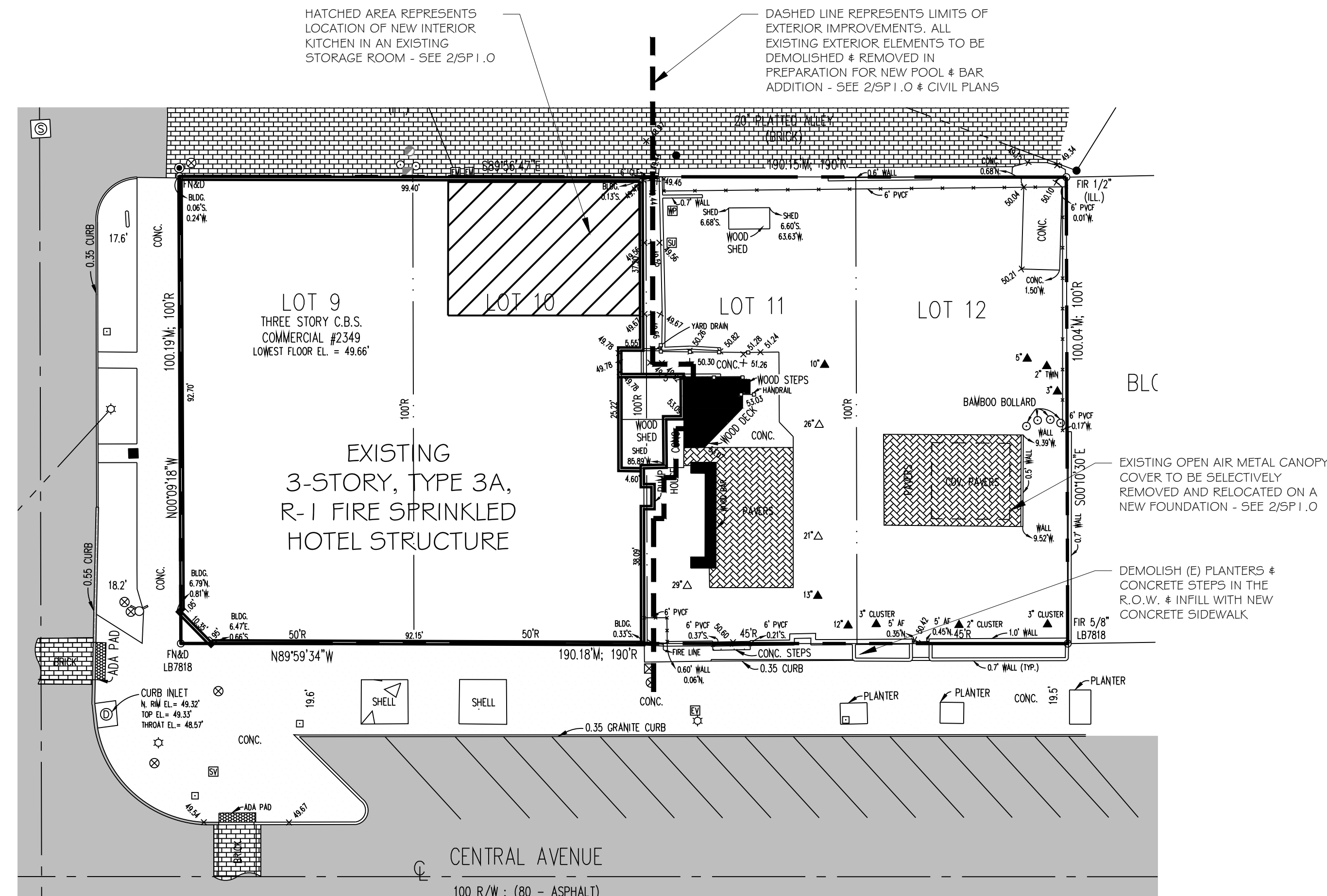
SITE DATA TABLE:

CATEGORY	REQUIREMENTS	EXISTING	PROPOSED
ZONING	CCT-2	CCT-2	CCT-2
LAND USE DISTRICT	CRD - COMMUNITY REDEVELOPMENT DISTRICT	CRD - COMMUNITY REDEVELOPMENT DISTRICT	CRD - COMMUNITY REDEVELOPMENT DISTRICT
FLU SPECIAL DESIGNATION OVERLAY	ACTIVITY CENTER	ACTIVITY CENTER	ACTIVITY CENTER
USE	PER SECTION 16.10.020.1 MATRIX	HOTEL	HOTEL WITH POOL AMENITIES
SETBACKS	BUILDING < 42' HEIGHT FRONT: 0' -OR- 10' FROM CURB INTERIOR SIDE: 0' STREET SIDE: 0' -OR- 5' FROM CURB REAR WITH ALLEY: 0'	FRONT: 0' INTERIOR SIDE: 82'-2" STREET SIDE: 0' REAR: 0'	FRONT: 0' INTERIOR SIDE: 0' STREET SIDE: 0' REAR: 0'
SITE AREA	4,500 S.F.	19,500 S.F.	19,500 S.F.
BUILDING HEIGHT	42'-0"	32'-0"	32'-0" (E)
BUILDING COVERAGE	N/A	10,106 S.F.	10,106 S.F. (E) + 1,692 S.F. ADDITION = 11,798 S.F.
POOL USE AREA	N/A	N/A	976 S.F.
PEDESTRIAN USE AREA	N/A	9,394 S.F.	6,726 S.F.
IMPERVIOUS SURFACE RATIO (I.S.R.)	.95 I.S.R.	12,212 S.F. = .626 I.S.R.	18,507 S.F. = .95 I.S.R.
LANDSCAPE & GREEN SPACE	.05	7,288 S.F. = .374	993 S.F. = .05
LANDSCAPE BUFFERS	SECTION 16.40.060.2.1.3 DEVELOPMENT & REDEVELOPMENT OF NON-RESIDENTIAL PROPERTY	N/A	FRONT: 3'-0" & 5'-0" SIDE: 3'-0" REAR: 3'-0"
PARKING SPACES	1 PER 4 ROOMS & 1 UNLOADING SPACE	1 G PARKING SPACES & 1 UNLOADING SPACE (OFF-SITE)	1 G (E) PARKING SPACES & 1 (E) UNLOADING SPACE (OFF-SITE)

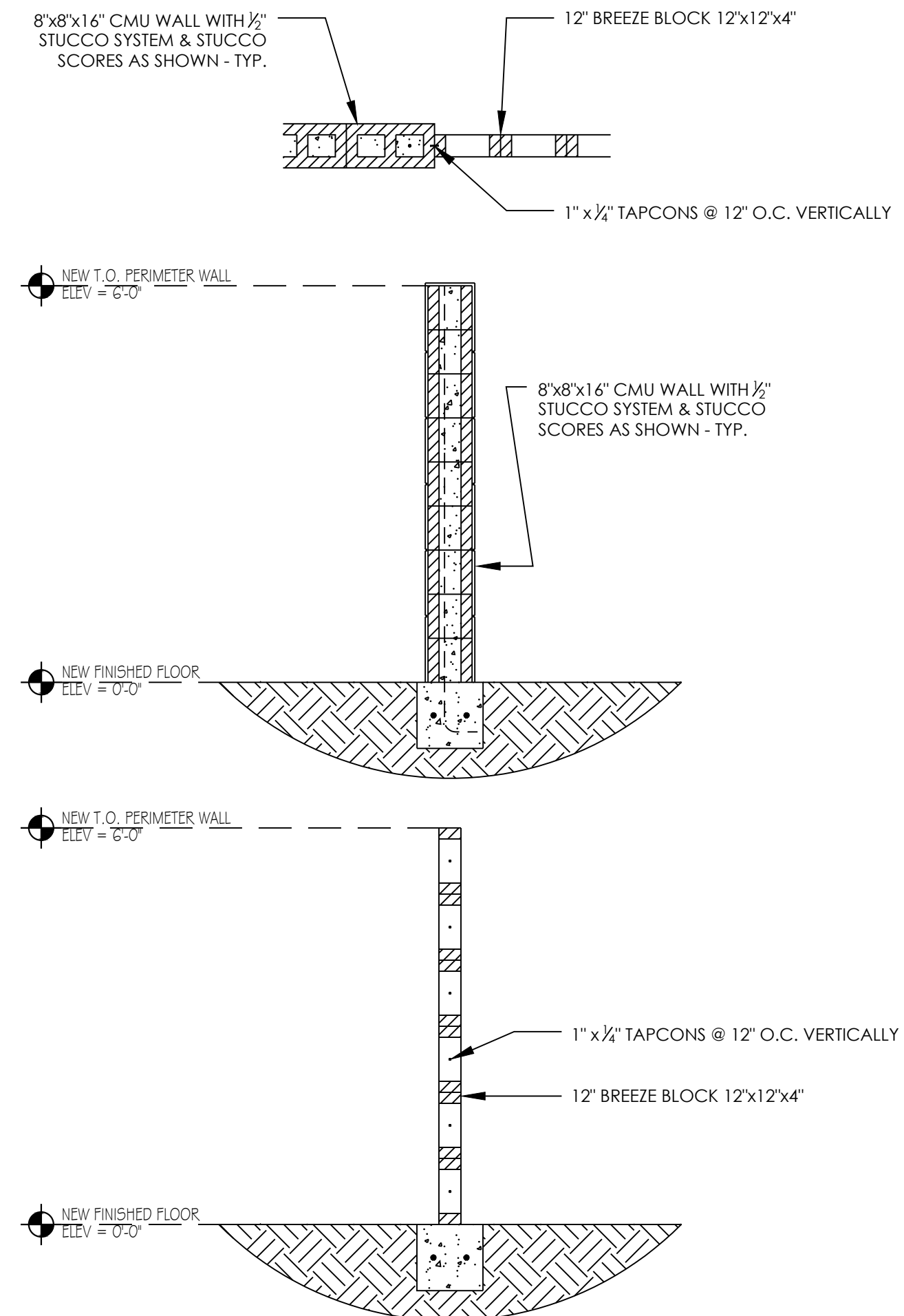
NOTES:
1. PER SECTION 16.40.060.2.1.3, D., 3., B., - PROPERTIES LOCATED WITHIN THE CRT, CCT AND DC-1, D-2, AND DC-3 DISTRICTS, THE BASE OF BUILDINGS, OR PORTIONS OF BUILDINGS, NOT VISIBLE FROM THE STREET, EXCLUDING ALLEYS, ARE NOT REQUIRED TO HAVE FOUNDATION LANDSCAPING, WHERE REDUCED BUILDING SETBACKS ALONG STREETS PHYSICALLY PREVENT THE INSTALLATION OF FOUNDATION LANDSCAPING, IT SHALL NOT BE REQUIRED.



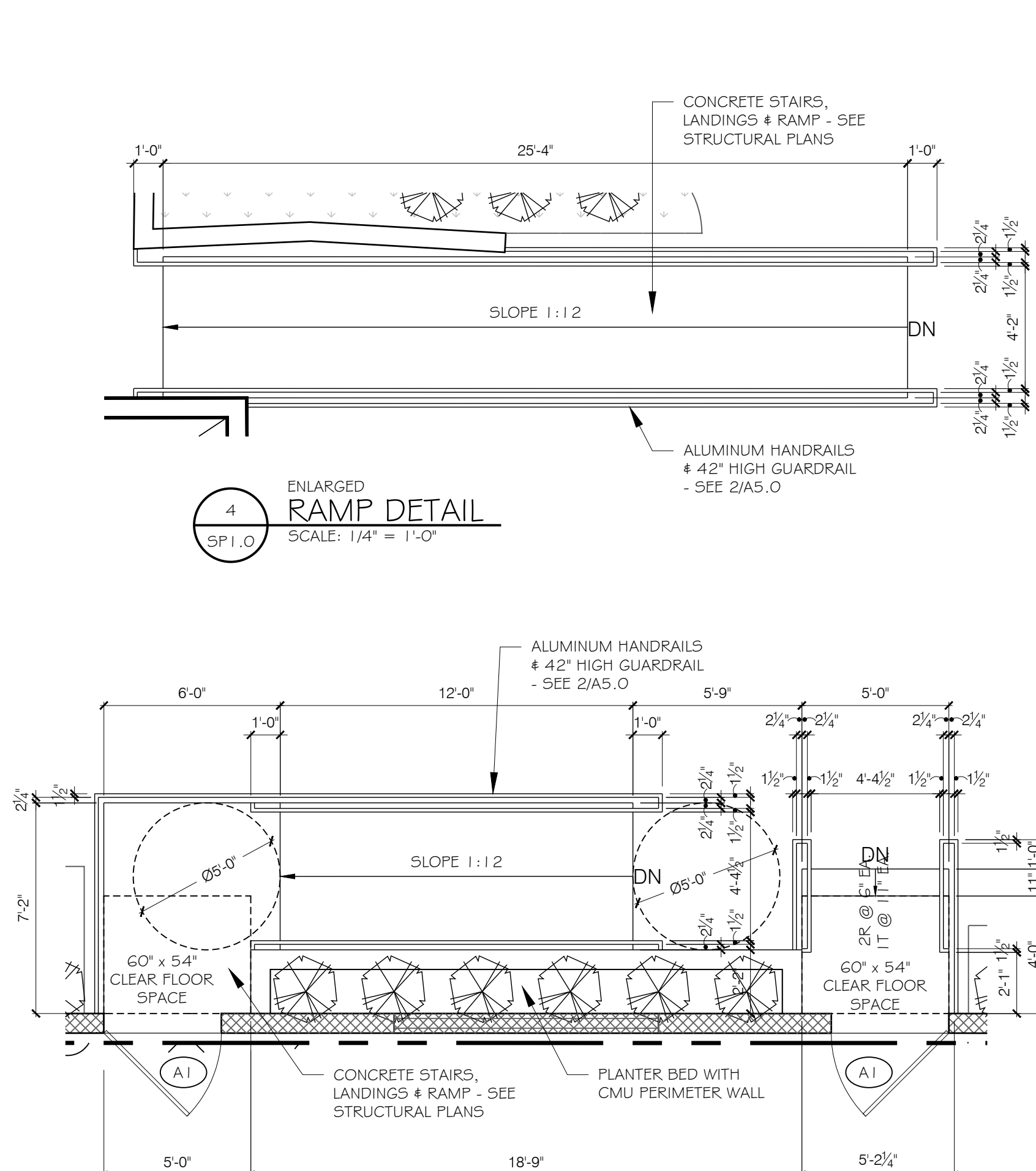
3 ENLARGED POOL/UTILITY ROOM FLOOR & ROOF PLANS
SCALE: 1/4" = 1'-0"



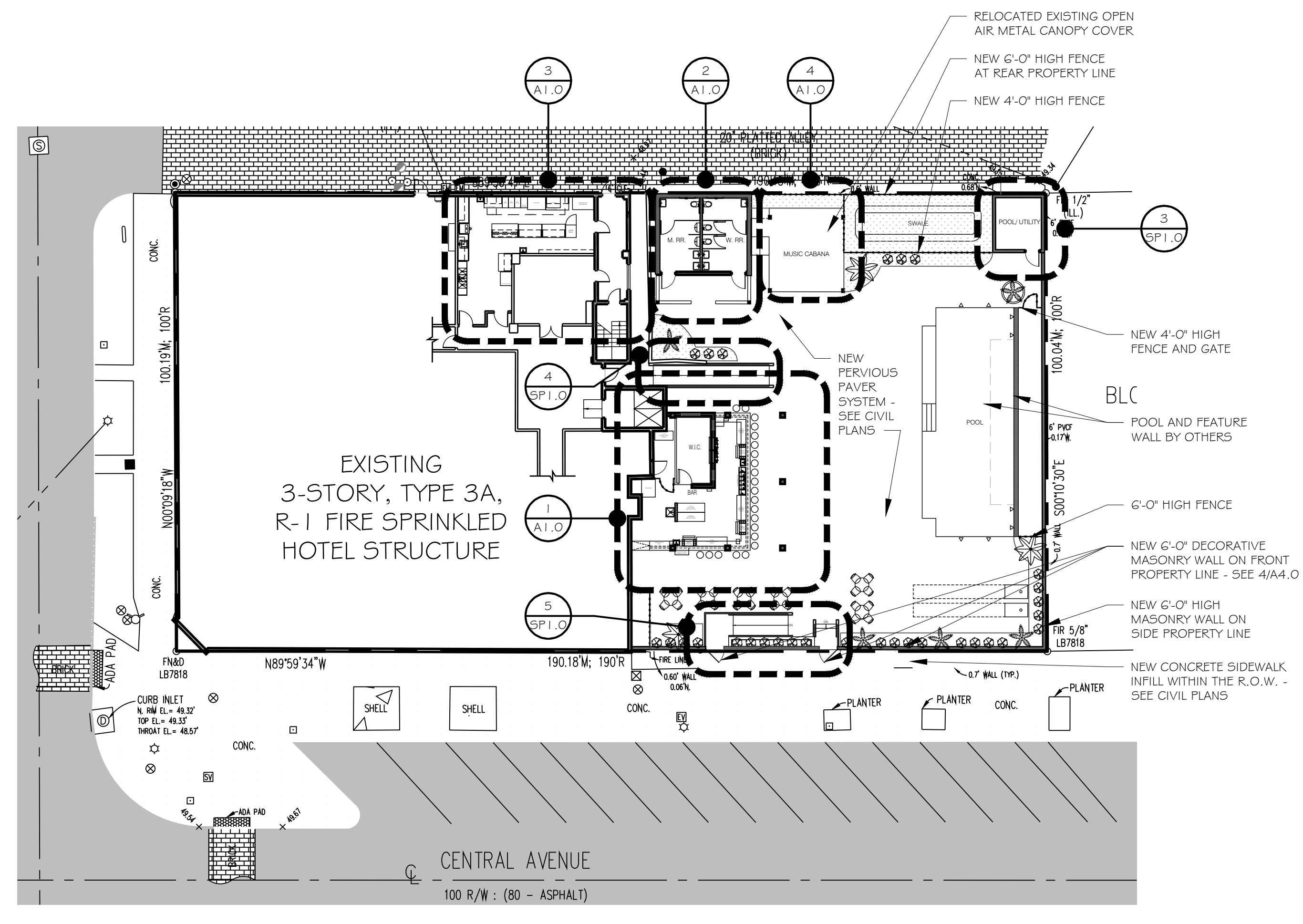
1 EXISTING SITE PLAN
SCALE: 1" = 20'-0"



6 ENLARGED MASONRY PERIMETER WALLS
SCALE: N/A



5 ENLARGED RAMP & STAIR DETAIL
SCALE: 1/4" = 1'-0"



2 NEW SITE PLAN
SCALE: 1" = 20'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY REGULATIONS AS DETERMINED BY THE JURISDICTION.

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

CONSULTANT

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT

FL LICENSE #R100251 (AIA REGISTRATION #89211970)
8 BELLEME DRIVE, TREASURE ISLAND, FL 33708
TEL: (727) 696-9677

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

EXISTING & NEW SITE PLANS

DRAWN BY: DL/SFF
DATE: 8-31-20
PROJECT #: 1905
SHEET: SP1.0

STATE OF FLORIDA
JENNIS G. LANG
R100758
08/31/2020
REGISTERED ARCHITECT

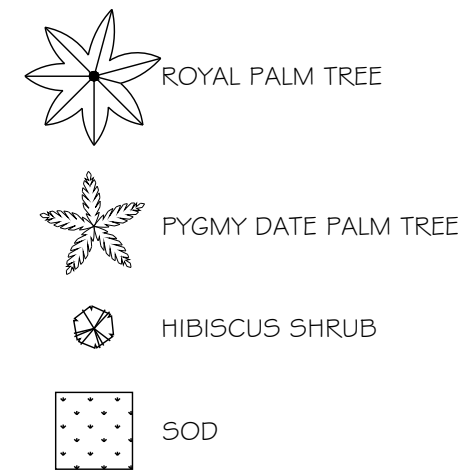
GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIALS TO BE FLORIDA #1 OR BETTER QUALITY, INSTALLED TO HIGHEST NURSERY STANDARDS.
- MULCH TO BE "FLORAMULCH" AVAILABLE AT GOMULCH.COM OR 866.466.8524 / 866.G0.MULCH. MULCH SHALL BE INSTALLED TO A MINIMUM OF 3" THICK IN ALL PLANTING AREAS.
- SOD TO BE 95% WEED FREE; ST. AUGUSTINE FLORATAM SOD TO BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED AT TIME OF INSTALLATION. ALL AREAS OF THE PROJECT SITE DISTURBED DURING CONSTRUCTION SHALL BE SODDED UNLESS SPECIFICALLY LABELED OTHERWISE. ALL AREAS WITHIN THE PROJECT LIMITS SHALL BE PROVIDED WITH SOD OR OTHER SPECIFIED GROUND COVER.
- ALL DIMENSIONS TO BE FIELD CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, WITH ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- ALL MATERIALS MUST BE AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LABOR DO NOT ADHERE TO SPECIFICATIONS, THEY WILL BE REJECTED BY THE LANDSCAPE ARCHITECT WITH PROPER INSTALLATION CARRIED OUT BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST.
- NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE MADE AT TIME OF BIDDING, SO AS TO PROVIDE FOR EQUAL AND FAIR COMPARISONS.
- ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS OTHERWISE SPECIFICALLY STATED IN THE SPECIFICATIONS.
- NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT.
- ALL QUESTIONS CONCERNING THE PLANS AND SPECIFICATIONS ARE TO BE DIRECTED TO THE LANDSCAPE ARCHITECT, (727) 821-5225.
- CAREFULLY REVIEW THE LANDSCAPE SPECIFICATIONS. THE INSTALLING CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL ITEMS CONTAINED THEREIN.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-SORB AG", IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE STORM WATER POLLUTION PREVENTION PLANS AND APPROPRIATE CONSTRUCTION SITE RUNOFF CONTROLS TO MEET EPA'S NATURAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULE ON CONSTRUCTION SITES WHERE MORE THAN ONE ACRE OF LAND IS DISTURBED.
- ALL NEW PLANTINGS WILL BE HAND WATERED. THERE IS NO PROPOSED PERMANENT IRRIGATION SYSTEM.

LANDSCAPE CALCULATIONS:

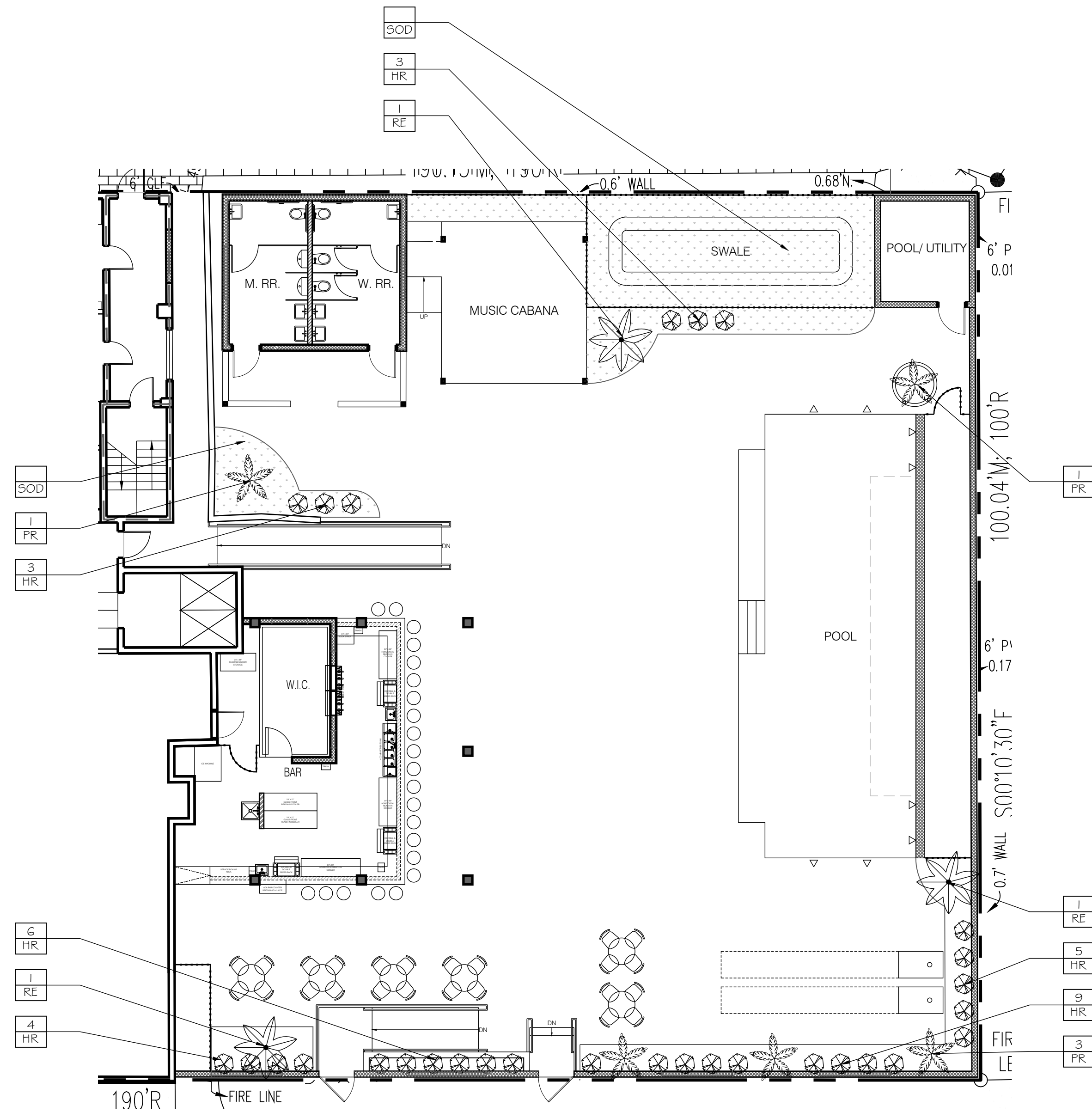
LANDSCAPE BUFFERS:
 EXTERIOR GREEN YARD BUFFER = 90.5 L.F. / 35 L.F. = 3 SHADE TREES REQUIRED
 FENCE BUFFER = 90.5 L.F. / 25 L.F. / 3 L.F. = 4 UNDERSTORY TREES & 30 SHRUBS REQUIRED
 TOTAL REQUIRED & PROVIDED FOR BUFFER AREAS = 3 SHADE TREES, 4 UNDERSTORY TREES & 30 SHRUBS REQUIRED

PLANT LEGEND:



PLANT MATERIAL SCHEDULE:

QTY.	CODE	BOTANICAL NAME	COMMON NAME	SPECS.
3	RE	ROYSTONIA ELATA	ROYAL PALM, FLORIDA	10' CLEAR TRUNK HGT., 4" - 6" CAL.
4	FR	PHOENIX ROEBELII	PYGMY DATE PALM	8' HGT., DOUBLE TRUNK (2), 3" - 5" CAL.
30	HR	HIBISCUS ROSA-SINENSIS	HIBISCUS	3 GAL., 24" HGT. x 24" SPR., DENSE
		STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE SOD	



ENLARGED
 NEW LANDSCAPE PLAN
 SCALE: 1" = 10'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY REGULATIONS AS DETERMINED BY THE JURISDICTION.

THIS PLAN IS THE PROPERTY OF LANG + FERFOGLIA ARCHITECTURE | DEVELOPMENT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION AND CONSENT AND SIGNATURE OF THE ARCHITECT. ANY UNAUTHORIZED REPRODUCTION OR USE OF THIS PLAN SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.

REVISIONS		DESCRIPTION
NO.	DATE	
1	Δ	

CONSULTANT

EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713

STATE OF FLORIDA
 JENNIS G. LANG
 AR100758
 08/31/2020
 REGISTERED ARCHITECT

LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT

FL LICENSE #AR100758 | AA REGISTRATION #8211970
 9 BELLEME DRIVE, TREASURE ISLAND, FL 33706
 TEL: (727) 696-5677

DRAWN BY: DL / SFF
 DATE: 8-31-20
 PROJECT #: 1905
 SHEET: SP1.1

LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)
- FIRE SPRINKLER HEAD

OCCUPANCY CALCULATIONS:

NEW EXTERIOR OCCUPANCY TYPE "A-2"

BAR	431 S.F./ 100 =	4 O.L.
BAR STORAGE	176 S.F./ 500 =	1 O.L.
BAR SEATING	725 S.F./ 15 =	28 O.L.
RESTROOMS	416 S.F./ 100 =	4 O.L.
MUSIC CABANA	330 S.F./ 15 =	22 O.L.
UTILITY ROOM	114 S.F./ 500 =	1 O.L.
POOL	976 S.F./ 50 =	20 O.L.
POOL DECK	3,386 S.F./ 30 =	112 O.L.
TOTAL OCCUPANCY		192 O.L.

EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD = 192 O.L.

REQUIRED & PROVIDED EGRESS INCHES
 DOORS - .2 x 192 = 38.4" REQUIRED/ 138" PROVIDED - 3 EXITS
 STAIRS - N/A - GROUND FLOOR

PLUMBING FIXTURE CALCULATIONS:

TOTAL OCCUPANCY LOAD = 192 O.L.
 OCCUPANCY TYPE "A-2"

REQUIRED

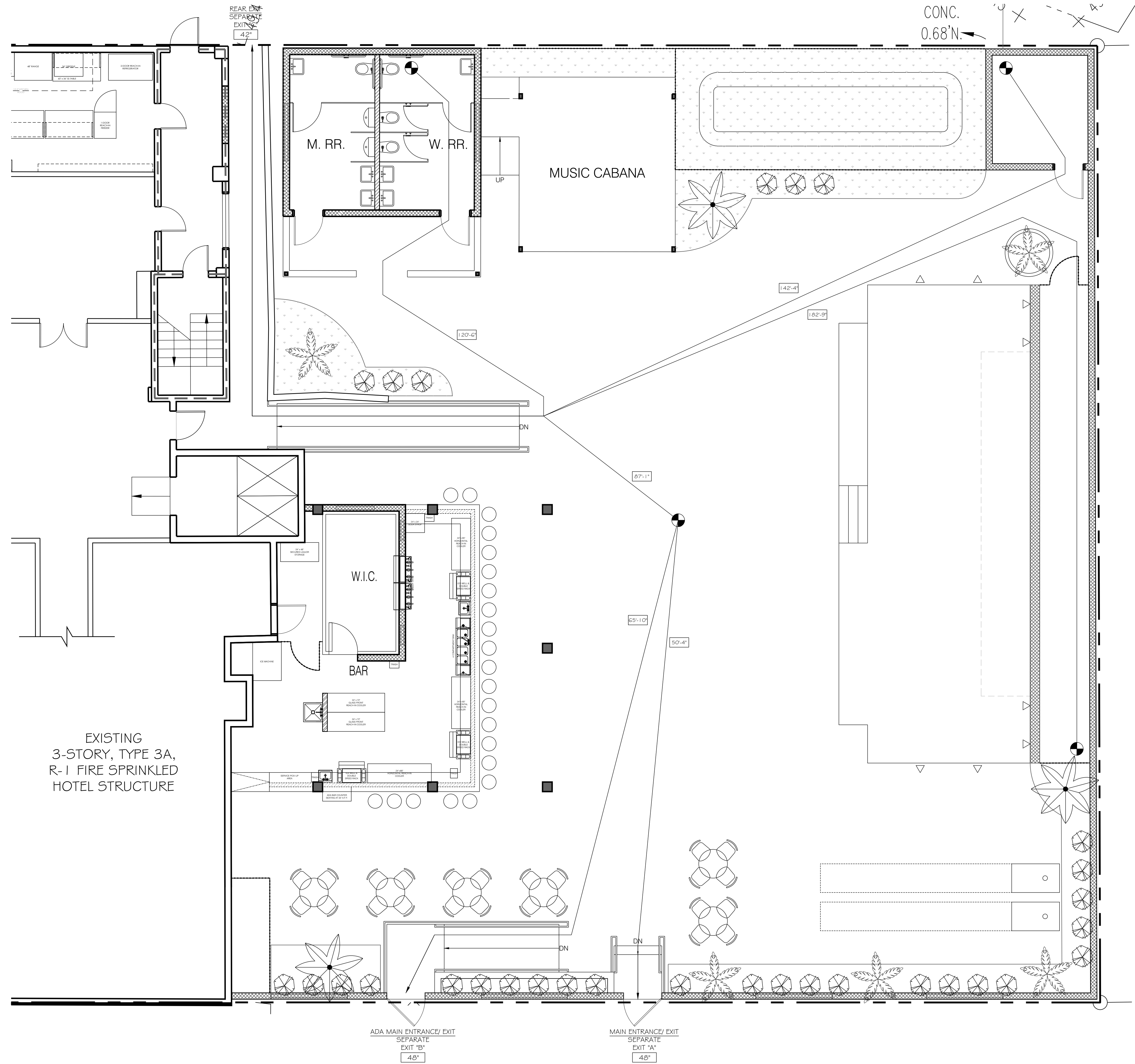
TOILETS (1 PER 75)	WOMEN	MEN
	2	2
SINKS (1 PER 200)	1	1

* 1 SERVICE SINK REQUIRED
 * 1 DRINKING FOUNTAIN REQUIRED

PROVIDED

TOILETS	WOMEN	MEN
	3	3
SINKS	3	3

* 1 SERVICE SINK PROVIDED
 * FPC 410.4 - SUBSTITUTION: WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS.



OVERALL SITE LIFE SAFETY PLAN
 SCALE: 3/16" = 1'-0"

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE, SAFETY, AND LIFE SAFETY CODES.

REVISIONS

NO.	DATE	DESCRIPTION
Δ		

CONSULTANT

EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713

STATE OF FLORIDA
 JENNIS G. LANG
 ARCHITECT
 08/31/2020
 REGISTERED ARCHITECT

LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT

FL LICENSE #AR100258 | AIA REGISTRATION #89211970
 9 BELLEVAE DRIVE, TREASURE ISLAND, FL 33706
 TEL: (727) 696-9677

DRAWN BY: DL/ SFF
 DATE: 8-31-20
 PROJECT #: 1905
 SHEET: LS1.0

GENERAL NOTES:

- STENCIL ALL FIRE RATED WALLS ABOVE CEILING WITH RED PAINT IE: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR USE STICKERS. LABELS TO BE ON GWB OR CMU - WHICHEVER PROVIDES FIRE RATING. LABELS TO BE 1/2" O.C. MAX W/ 4" HIGH LETTERS & 1/2" STROKE MINIMUM DIMENSIONING IS TAKEN TO THE FACE OF FINISH (F.O.F.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- A) OUTLET BOXES INSTALLED IN RATED WALLS SHALL NOT EXCEED 16 SQUARE INCHES UNLESS ENCLOSED BY A "5-SIDED BOX".
B) THE AGGREGATE AREA OF ALL BOXES IN A RATED WALL AND NOT ENCLOSED BY A "5-SIDED BOX" SHALL NOT EXCEED 100 SQUARE INCHES IN 100 SQUARE FEET OF WALL AS MEASURED FROM FLOOR TO STRUCTURAL DECK OR RATED MEMBRANE.
C) OUTLET BOXES WITH OPENINGS ON OPPOSITE FACES OF RATED WALLS SHALL HAVE A HORIZONTAL SEPARATION OF 24" MINIMUM UNLESS ENCLOSED BY A "5-SIDED BOX".
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.

ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT. SEE DETAIL 1/A5.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS
- SEE DETAIL 2/A5.0 FOR ALL RAILING DETAILS

REFERENCES:

- SPACE NUMBERS
 - DOOR NUMBERS
 - WINDOW TYPES
 - EQUIPMENT OR KEYED NOTES
 - REVISIONS MADE TO THIS SHEET
- BUILDING SECTIONS
 INTERIOR OR EXTERIOR ELEVATIONS

WALL LEGEND

- EXISTING WALL TO REMAIN - PROTECT FROM DAMAGE
- EXISTING WALL OR PORTION OF EXISTING WALL TO BE DEMOLISHED - PATCH & REPAIR ADJACENT SURFACES AS REQUIRED TO ACCEPT NEW FINISHES OR CONSTRUCTION
- 8 x 8 x 16 CMU INFILL WALL - INSTALL 1/2" STUCCO ON EXTERIOR SIDES - SEE 1/AO.0
- 8 x 8 x 16 CMU WALL ON A THICKENED EDGE WITH 1 - #5 REBAR AT 4'-0" O.C. # ON EACH SIDE OF AN OPENING - INSTALL 1/2" STUCCO ON EXTERIOR SIDES & EPOXY SEAL COAT ON INTERIOR SIDES - SEE 6/SP.1.0
- 12 x 12 x 4 DECORATIVE FLORIDA BREEZE BLOCK; DOWEL & EPOXY ENDS OF BLOCK AT 12" O.C. VERTICALLY TO 8 x 8 x 16 CMU - SEE PLANS & ELEVATIONS FOR SPECIFIC HEIGHTS & LOCATIONS - SEE 6/SP.1.0
- 2 x 6 STUD PLUMBING WALL - INSTALL 1/2" WATER RESISTANT GYPSUM BOARD ON EXPOSED SIDE - SEE 2/AO.0
- 2 x 6 STUD PLUMBING WALL - INSTALL 1/2" WATER RESISTANT GYPSUM BOARD & 1/2" STUCCO ON ALL SIDES - SEE 3/AO.0
- 2 x 6 STUD LOW PLUMBING WALL (AT BAR) - INSTALL 1/2" WATER RESISTANT GYPSUM BOARD & 1/2" STUCCO ON ALL SIDES - SEE 4/AO.0
- 2 x 4 WOOD STUD WALL - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/AO.0

NOTE:

- ALL WALL DIMENSIONS ARE TO FACE OF FINISH (F.O.F.)
- USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)
- FIRE SPRINKLER HEAD

GENERAL ELECTRICAL NOTES:

- CONTRACTOR TO SUBMIT MANUFACTURER PRODUCT DATA FOR ALL LIGHT FIXTURES (NOT PROVIDED BY OWNER) PRIOR TO INSTALLATION FOR APPROVAL BY OWNER.
- LUMINARIES THAT ARE RECESSED INTO INSULATED AREAS ARE REQUIRED TO BE RATED FOR INSULATION CONTACT ("IC-RATED"), AIR TIGHT AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING.
- PERMANENTLY WIRED SMOKE DETECTORS WITH BATTERY BACK UP, PER CHAPTER 12 OF THE UBC, ARE REQUIRED TO BE CENTRALLY LOCATED IN EACH SLEEPING ROOM AND ON THE CEILING OF THE CORRIDOR GIVING ACCESS TO SLEEPING ROOMS. ALL DETECTORS TO BE AUDIBLE IN ALL ROOMS AND NOT ON A GFI CIRCUIT.
- SWITCH HEIGHT TO BE +44" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- SWITCHES AND FACEPLATES TO MATCH EXISTING.
- CONTRACTOR TO SELECT ALL LIGHT FIXTURES WITH TENANT.
- CONTRACTOR TO PROVIDE FLUORESCENT LAMPS WITH COLOR TEMPERATURES PER TENANT'S REQUIREMENTS - VERIFY PRIOR TO ORDERING.

OCCUPANCY CALCULATIONS:

NEW EXTERIOR OCCUPANCY TYPE "A-2"			
BAR	431 S.F./ 100 =	4 O.L.	
BAR STORAGE	176 S.F./ 500 =	1 O.L.	
BAR SEATING	725 S.F./ 15 =	28 O.L.	
RESTROOMS	416 S.F./ 100 =	4 O.L.	
MUSIC CABANA	330 S.F./ 15 =	22 O.L.	
UTILITY ROOM	114 S.F./ 500 =	1 O.L.	
POOL	976 S.F./ 50 =	20 O.L.	
POOL DECK	3,386 S.F./ 30 =	112 O.L.	
TOTAL OCCUPANCY		192 O.L.	

EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD = 192 O.L.

REQUIRED & PROVIDED EGRESS INCHES
DOORS - 2 x 192 = 38.4" REQUIRED/ 138" PROVIDED - 3 EXITS
STAIRS - N/A - GROUND FLOOR

PLUMBING FIXTURE CALCULATIONS:

TOTAL OCCUPANCY LOAD = 192 O.L.
OCCUPANCY TYPE "A-2"

REQUIRED TOILETS	(1 PER 75)	WOMEN	MEN
TOILETS	2	2	2
SINKS	(1 PER 200)	1	1

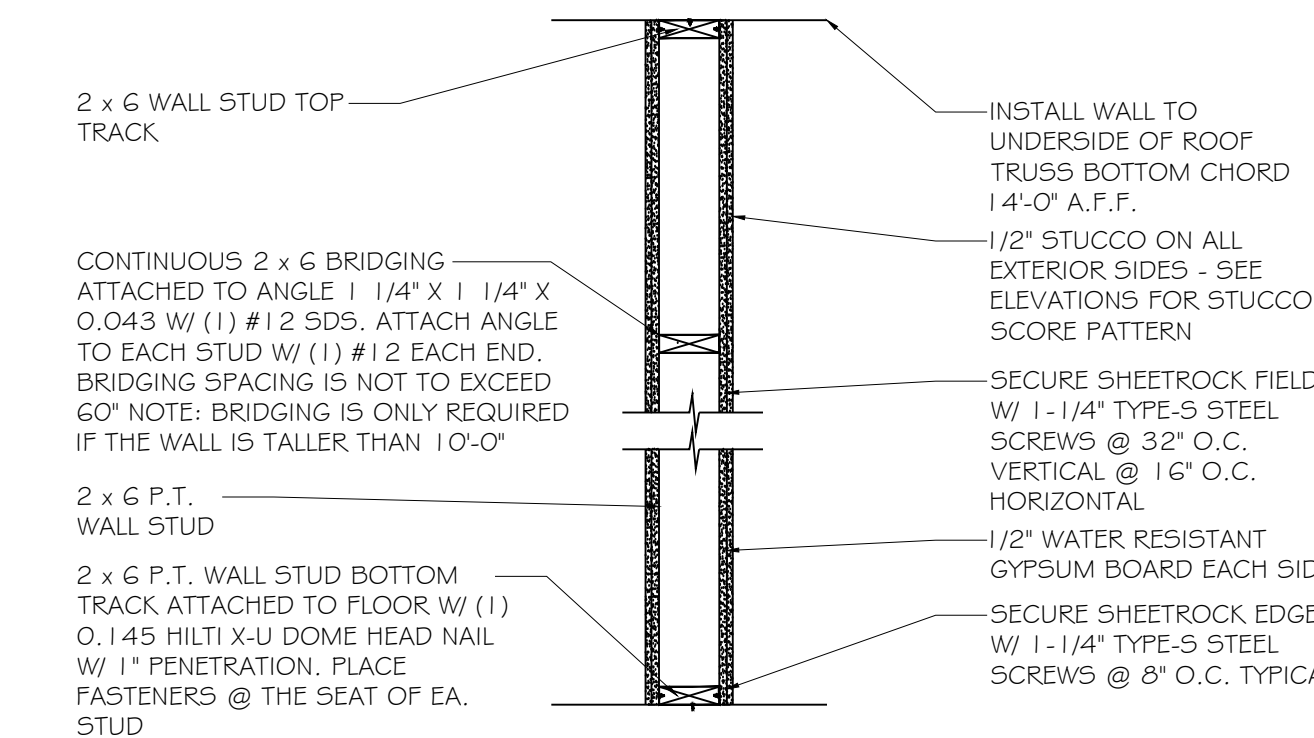
*1 SERVICE SINK REQUIRED
*1 DRINKING FOUNTAIN REQUIRED

PROVIDED TOILETS	SINKS	WOMEN	MEN
TOILETS		3	3
SINKS		3	3

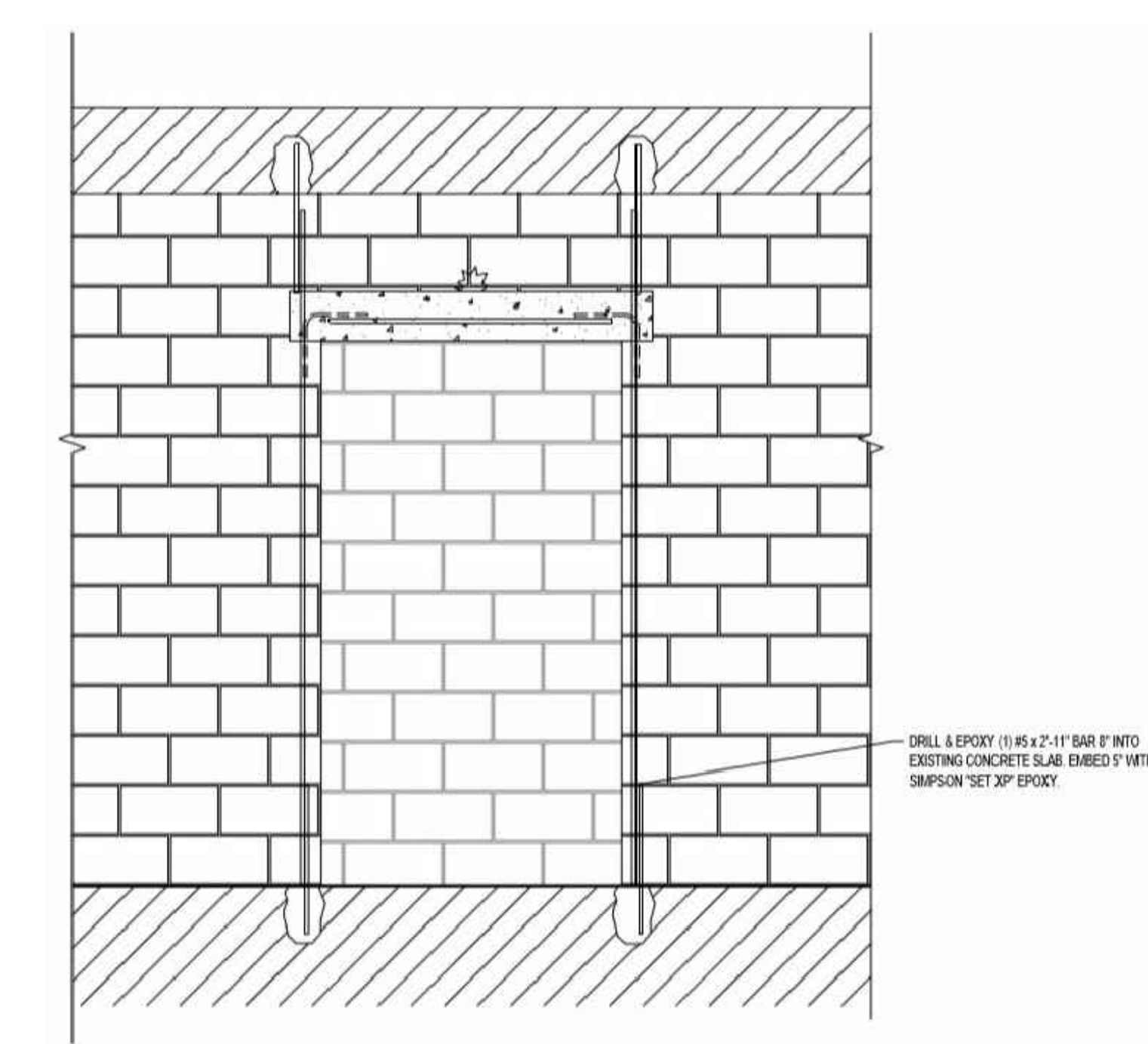
*1 SERVICE SINK PROVIDED
*FPC 410.4 - SUBSTITUTION: WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS.

ELECTRICAL REFLECTED CEILING LEGEND

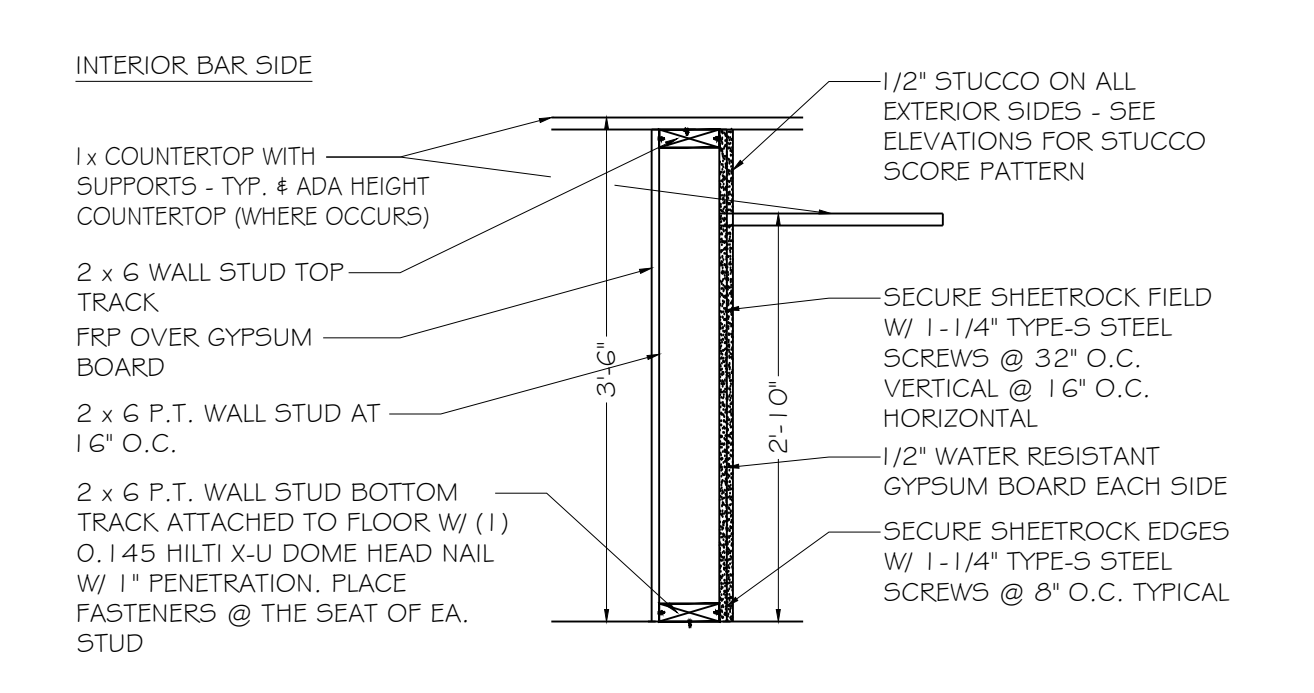
- INTERIOR 2' x 2' LAY-IN LIGHT FIXTURE
- EXTERIOR PENDANT LIGHT FIXTURE
- EXTERIOR CEILING MOUNTED LIGHT FIXTURE
- EXTERIOR CEILING MOUNTED LIGHT FIXTURE
- PULL CHAIN LIGHT FIXTURE
- EXTERIOR 2-BULB STRIP LIGHT FIXTURE
- EXIT LIGHT FIXTURE
- ELECTRICAL PANEL
- 2' x 4' LAY-IN ACOUSTICAL TILE CEILING SYSTEM - CONTRACTOR TO VERIFY COLOR & FINISH WITH OWNER
- JUNCTION BOX
- STANDARD SWITCH
- GROUND FAULT INTERCEPTOR OUTLET
- EXTERIOR WALL SCONCE LIGHT FIXTURE
- EXHAUST FAN
- SMOKE DETECTOR



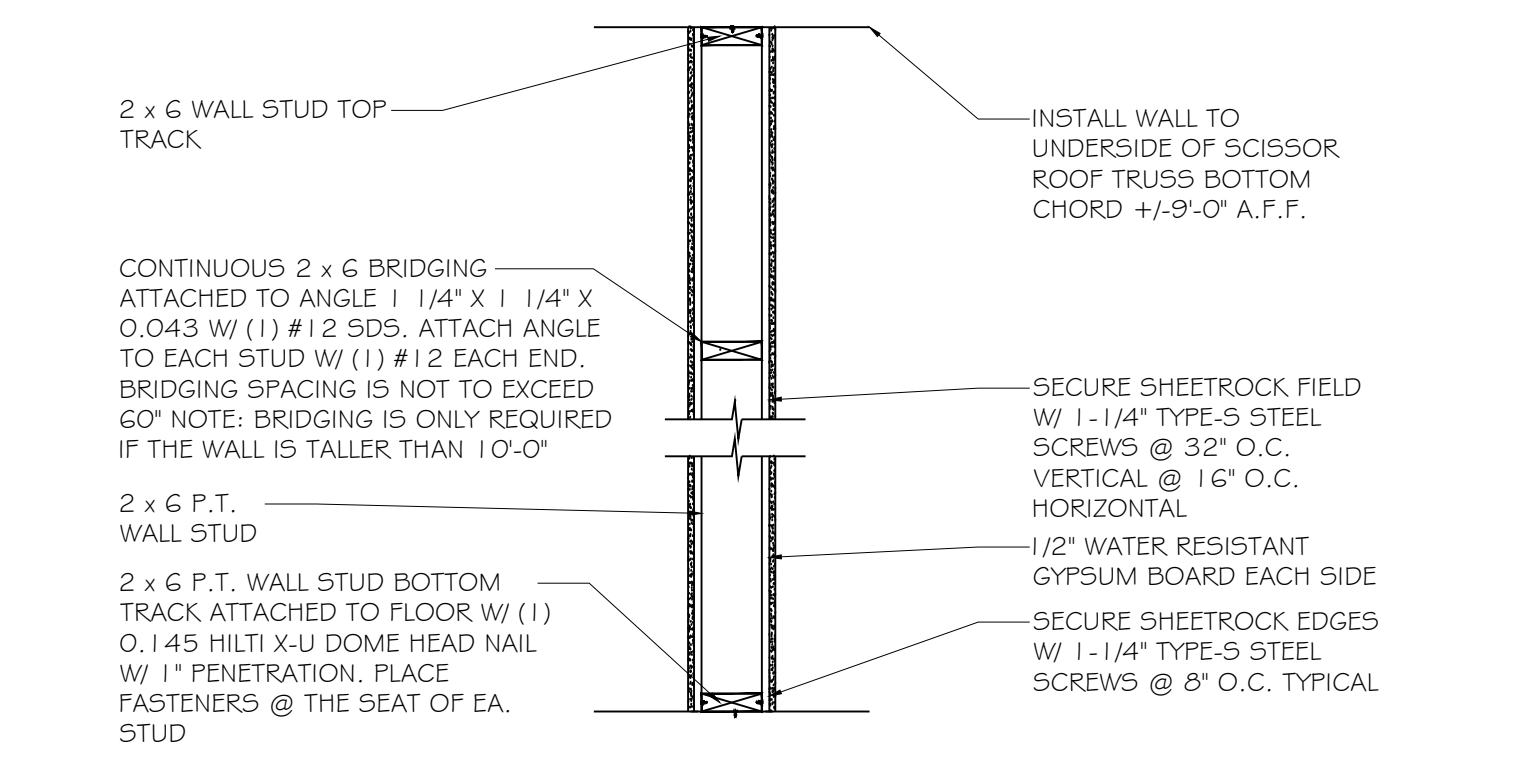
3 2 x 6 PARTIAL HEIGHT PLUMBING WALL
SCALE: N/A



1 CMU INFILL WALL
SCALE: N/A



4 2 x 6 LOW BAR PLUMBING WALL
SCALE: N/A



2 2 x 6 FULL HEIGHT PLUMBING WALL
SCALE: N/A

5 2 x 4 INTERIOR WALL
SCALE: N/A

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE REGULATORY AGENCIES. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

REVISIONS

NO.	DATE	DESCRIPTION
1		

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

LANG + FERFOGLIA ARCHITECTURE | DEVELOPMENT

FL LICENSE #A1100251 (AIA REGISTRATION #68211070)
6 BELLEME DRIVE, TREASURE ISLAND, FL 33706
TEL: (727) 696-9677

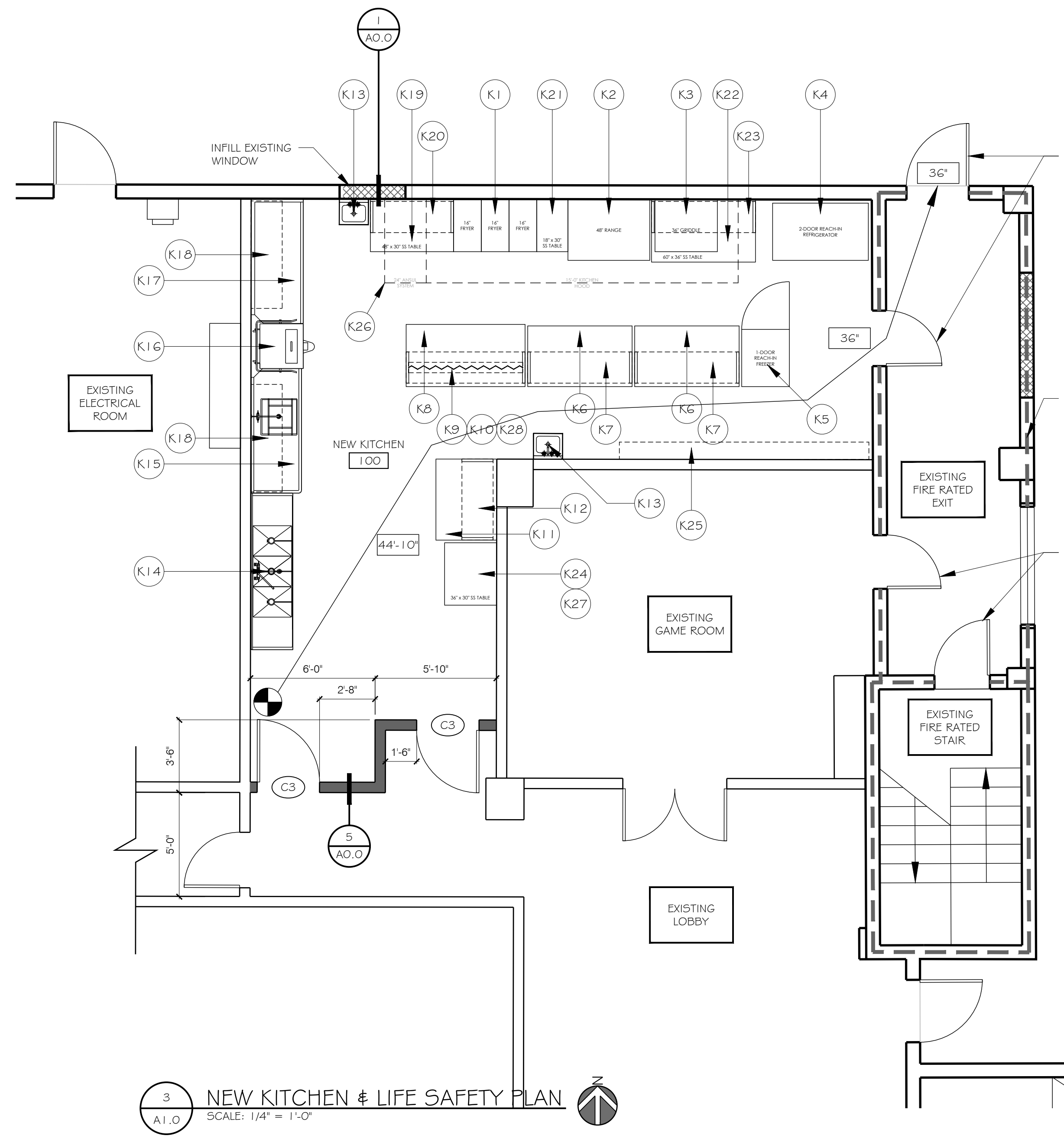
DRAWN BY: DL/ SFF
DATE: 8-31-20
PROJECT #: 1905
SHEET: A0.0

BAR EQUIPMENT LIST:

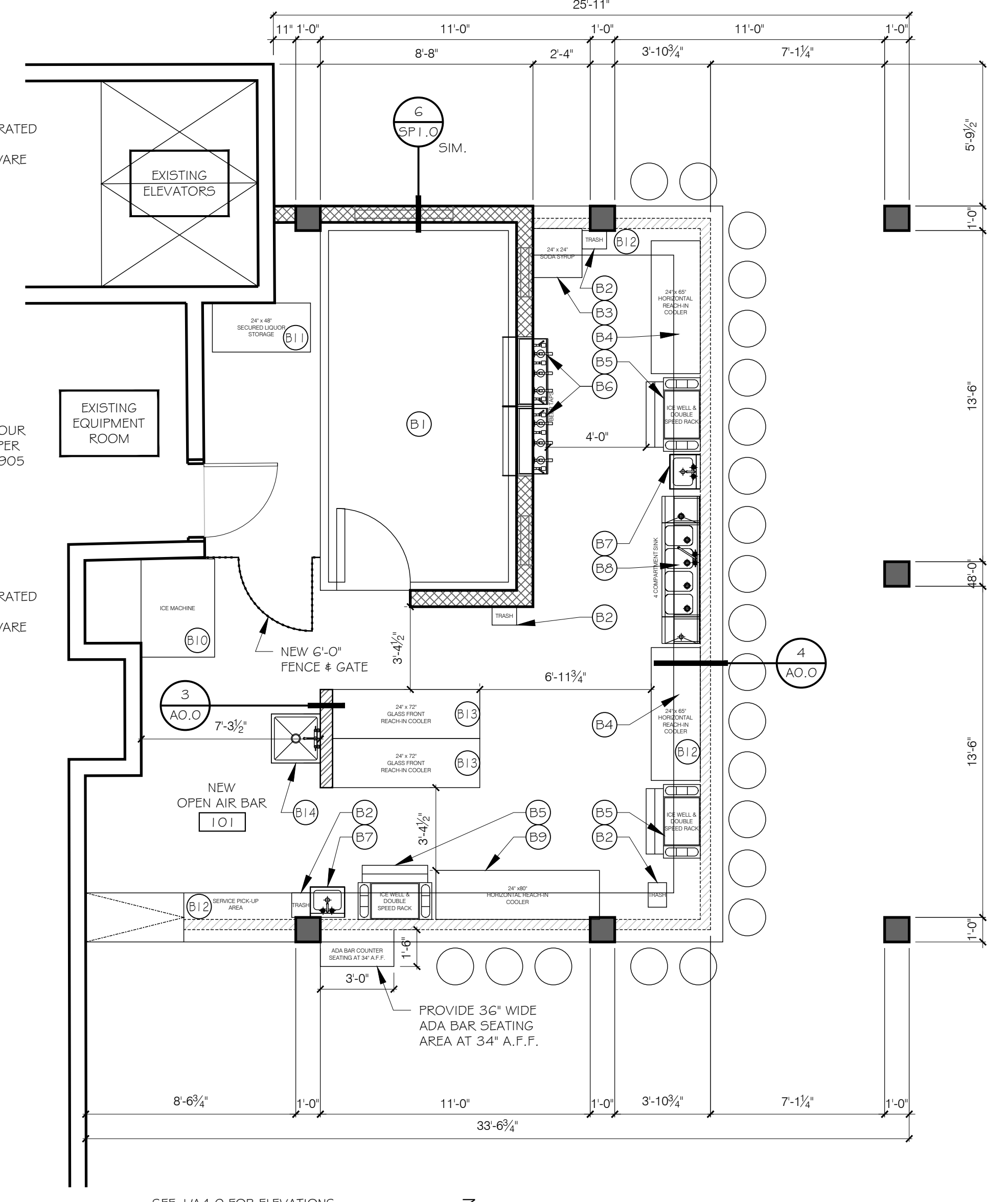
#	EQUIPMENT	MANUFACTURER	MODEL #
B1	WALK-IN COOLER/ FREEZER 8'-0" x 15'-0"	KOLPAK	CUSTOM
B2	TRASH CAN	WINCO	PTC-23K
B3	SODA SYRUP RACK	SERVEND	5014117
B4	HORIZONTAL BEER COOLER 65"	AVANTCO	178HBB65HC
B5	ICE CHEST	EAGLE GROUP	B21C-12D-18
B5	SPEED RAIL	EAGLE GROUP	501883
B5	SLIDING COVER KIT	EAGLE GROUP	SC-18/22-24
B6	DIRECT DRAW BEER TAP SYSTEM *BEER TAPS FAUCET THRU-COOLER WALL *BEER DRIP TRAY	KEGCO	493355 DP-820D-45GR
B7	HAND SINK	REGENCY	600B11014
B8	4-COMPARTMENT UNDERBAR DISH SINK	MAXARA	S5304
B9	HORIZONTAL BEER COOLER 80"	AVANTCO	178HBB80HC
B10	ICE MACHINE	SCOTSMAN	C05305A-1D
B11	SECURE LIQUOR STORAGE, RACKS/SHELVES	REGENCY	460EC2448
B12	POINT OF SALE	T.B.D.	T.B.D.
B13	GLASS FRONT BEER COOLER	AVANTCO	UBB72GHC
B14	UTILITY SINK	T.B.D.	T.B.D.

KITCHEN EQUIPMENT LIST:

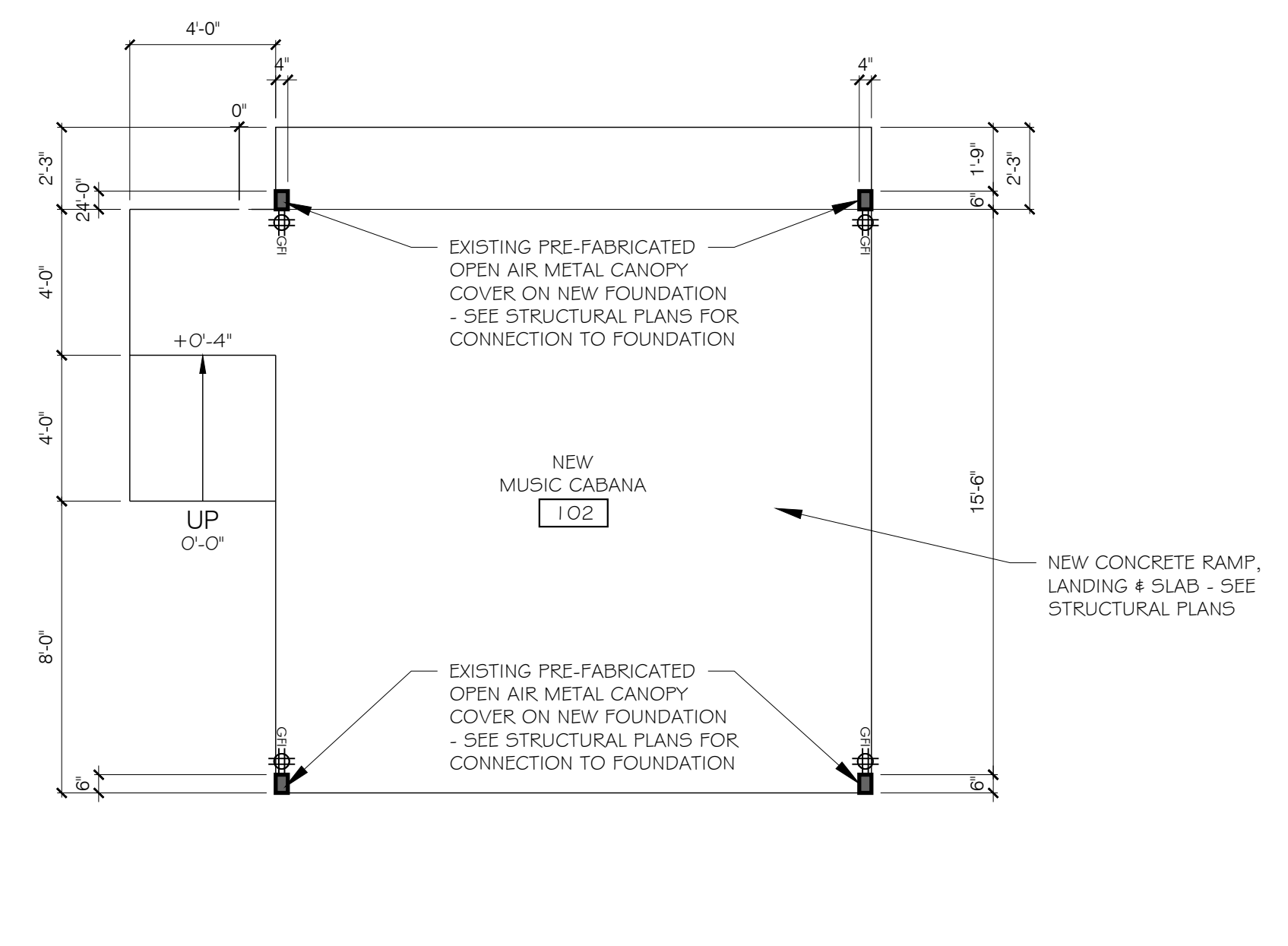
#	EQUIPMENT	MANUFACTURER	MODEL #
K1	DEEP Fryer	AVANTCO	177FF400N
K2	RANGE & OVEN	GARLAND	G48-8LL
K3	FLAT GRIDDLE	AVANTCO	177AG36MG
K4	2-DOOR REACH-IN REFRIGERATOR	MASTER-BILT	MBR49-5
K5	1-DOOR REACH-IN FREEZER	MASTER-BILT	MBF23-5
K6	REFRIGERATED BASE, MAKE TABLE	AVANTCO	17855PT60MHC
K7	AVANTCO 60" EQUIP OVERSHELF	AVANTCO	17855D057118
K8	REFRIGERATED BASE, SS TOP	MASTER-BILT	MBUR72A-007
K9	SS OVERSHELF	ATOSA	M5F8308GR
K10	HEAT LAMP FOOD WARMER	HATCO	GRAH-66 120V
K11	REFRIGERATED BASE, SALAD PREP STATION	AVANTCO	17855PT48MHC
K12	AVANTCO 48" EQUIP OVERSHELF	AVANTCO	17855D054818
K13	HAND SINK	REGENCY	600H5175P
K14	3-BAY SINK	REGENCY	600S3162018G
K15	DIRTY DISH TABLE WITH PRE-RINSE BOWL	REGENCY	600DDT60
K16	DISHWASHER	NOBLE	NOBLE-I-E-LTH
K17	CLEAN DISH TABLE	REGENCY	600CDT60
K18	DISH RACK OVERSHELF DRAIN & DRY	REGENCY	600STR62KD
K19	48" x 30" SS TABLE	REGENCY	600TS3048S
K20	REGENCY 48" OVERSHELF	REGENCY	600D0S1848
K21	18" x 30" SS TABLE	REGENCY	600TB3018G
K22	60" x 36" SS TABLE	REGENCY	600TS3660S
K23	REGENCY 60" OVERSHELF	REGENCY	600D0S1860
K24	36" x 30" SS TABLE	REGENCY	600TS3036S
K25	STORAGE SHELVING, 12" x 72"	T.B.D.	T.B.D.
K26	15'-0" WIDE KITCHEN HOOD & ANSUL SYSTEM	CAPTIVE AIRE	CUSTOM
K27	POINT OF SALE	T.B.D.	T.B.D.
K28	TICKET PRINTER	T.B.D.	T.B.D.



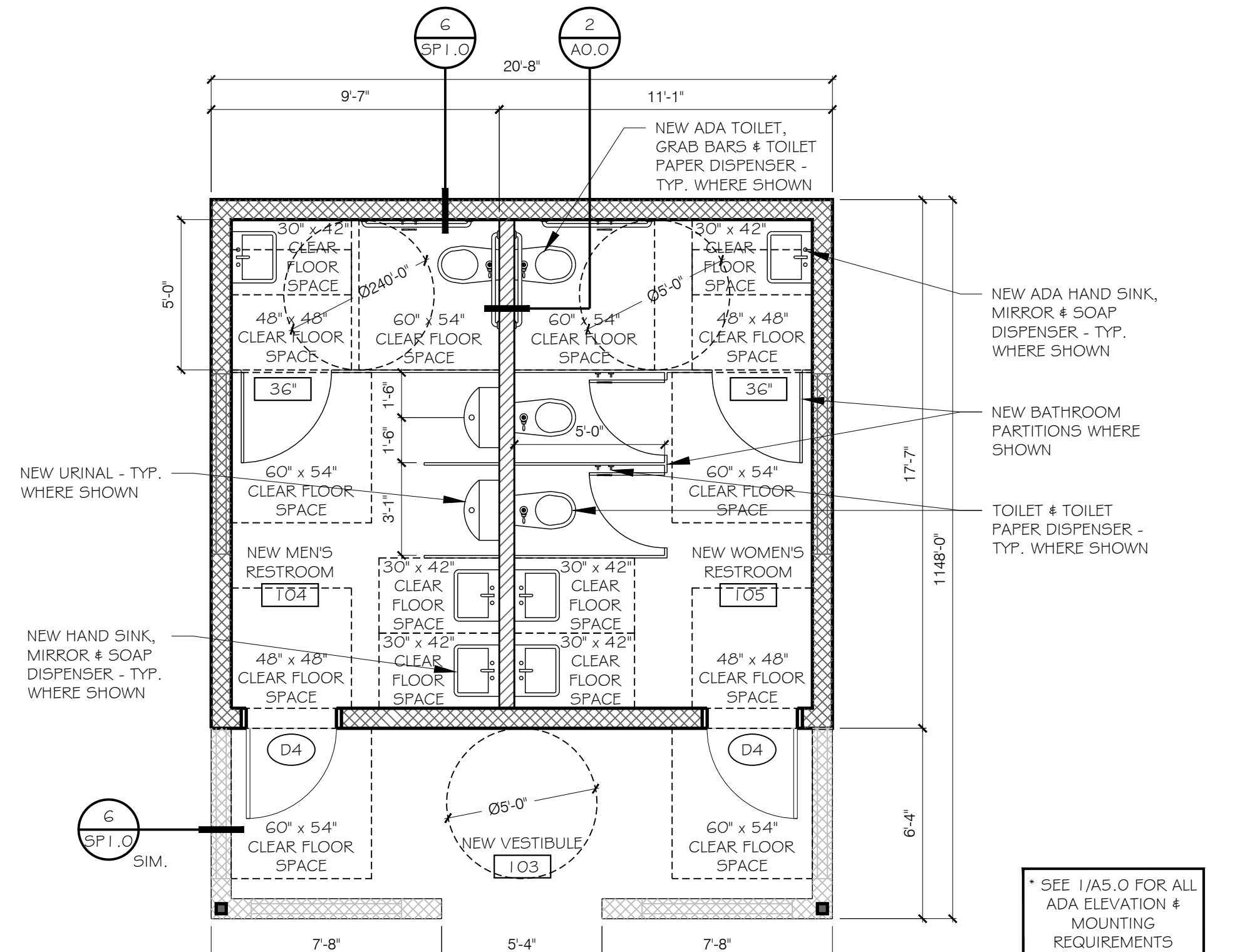
3 NEW KITCHEN & LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"



1 NEW BAR FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 NEW MUSIC CABANA PLAN
SCALE: 1/4" = 1'-0"



2 NEW RESTROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

SEE SHEET A0.0 FOR LEGENDS, GENERAL NOTES & DETAILS

SEE 1/A5.0 FOR ALL ADA ELEVATION & MOUNTING REQUIREMENTS

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENGINEERING AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY REGULATIONS AS DETERMINED BY THE JURISDICTION.

REVISIONS

NO.	DATE	DESCRIPTION
Δ		

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

LANG + FERFOGLIA ARCHITECTURE | DEVELOPMENT

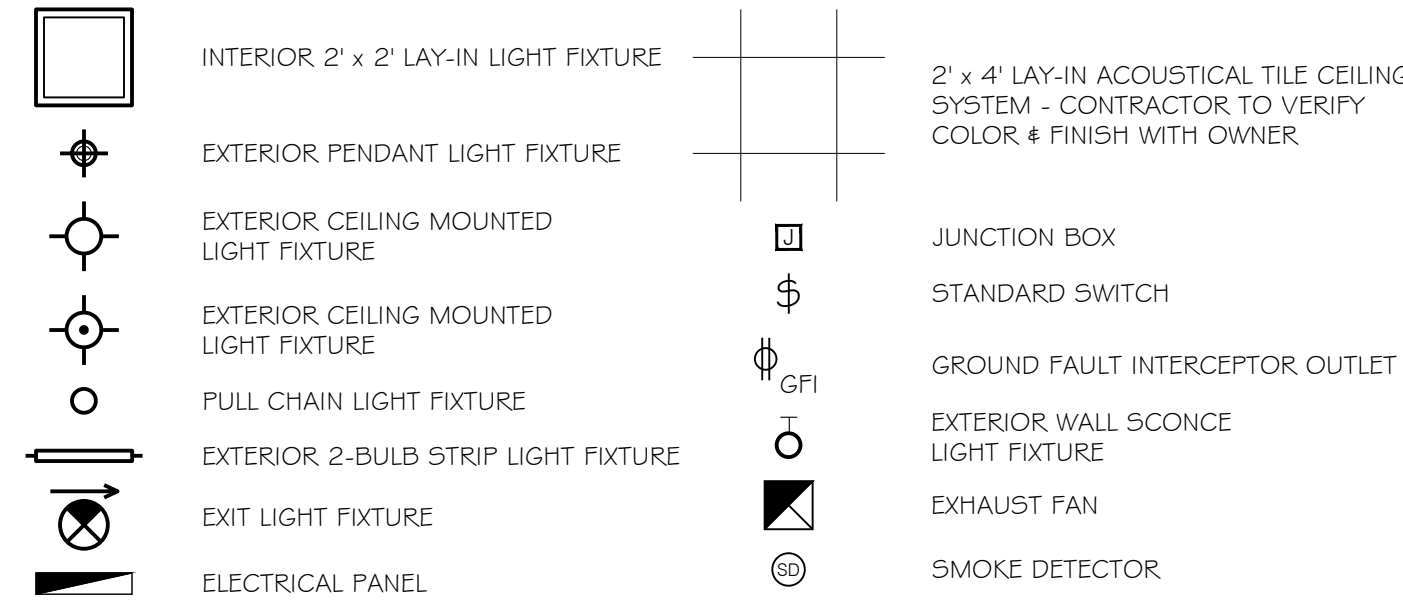
REGISTERED ARCHITECT
FL LICENSE #RL000758
08/31/2020

DRAWN BY: DL/ SFF
DATE: 8-31-20
PROJECT #: 1905
SHEET: A1.0

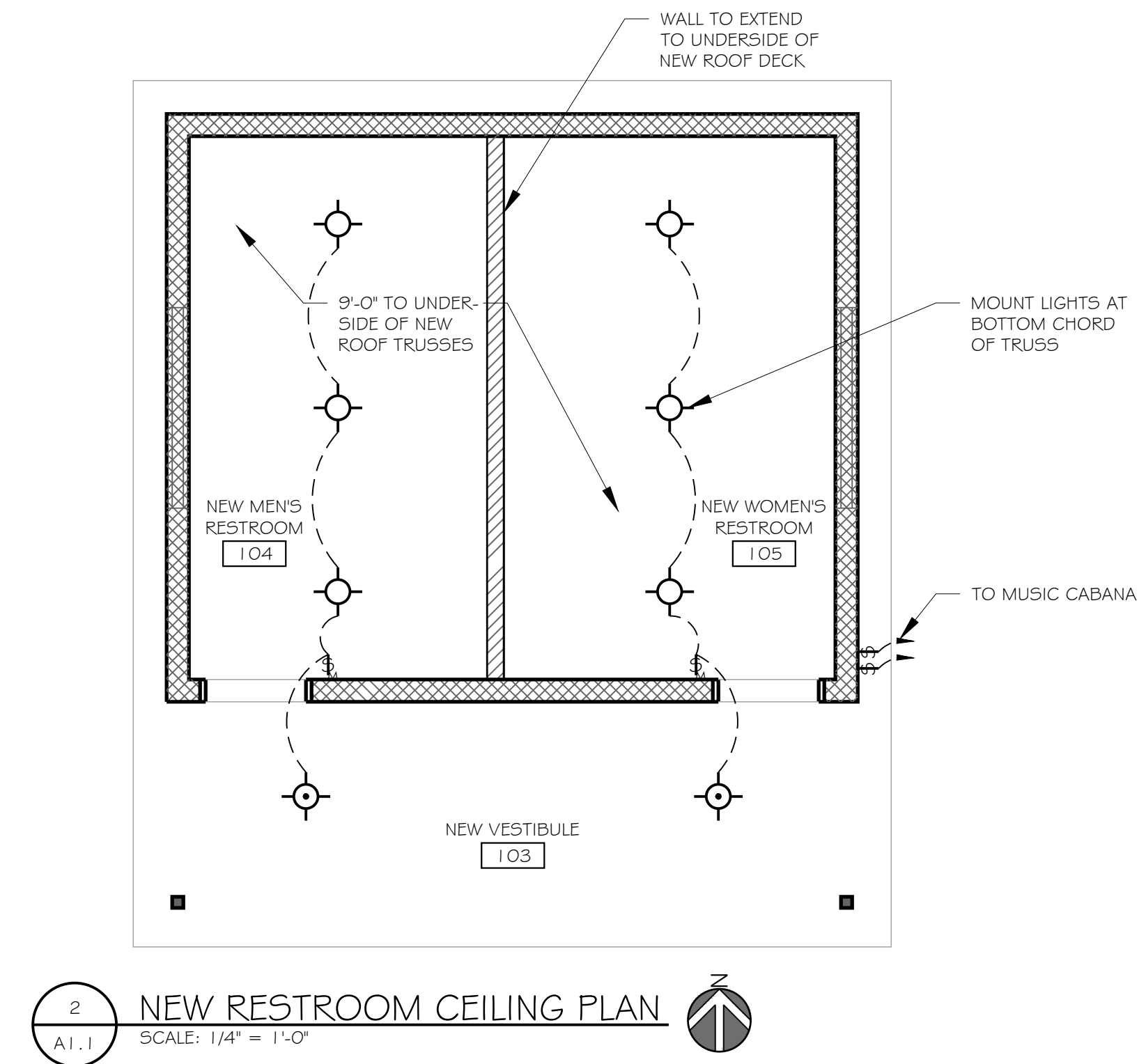
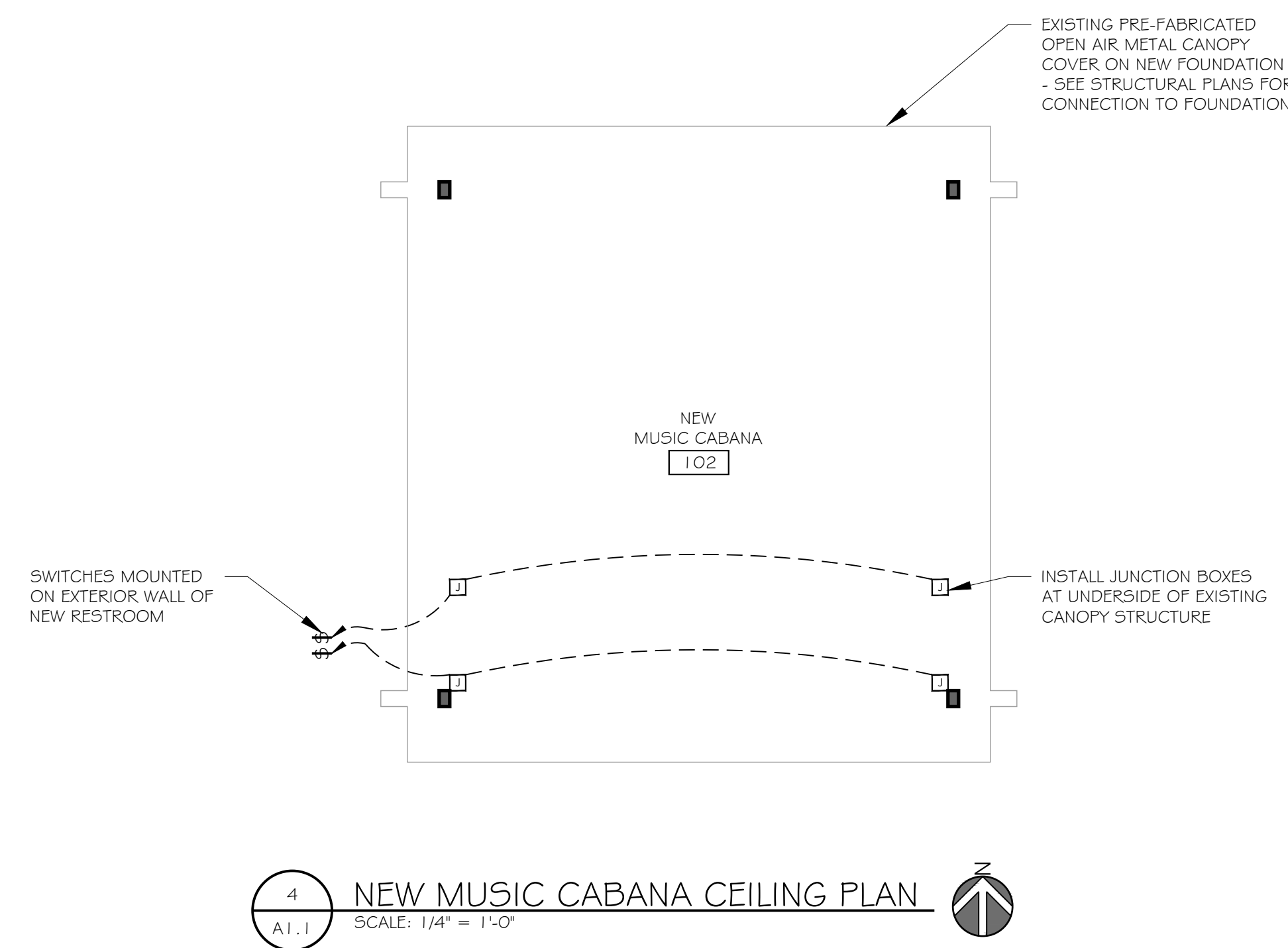
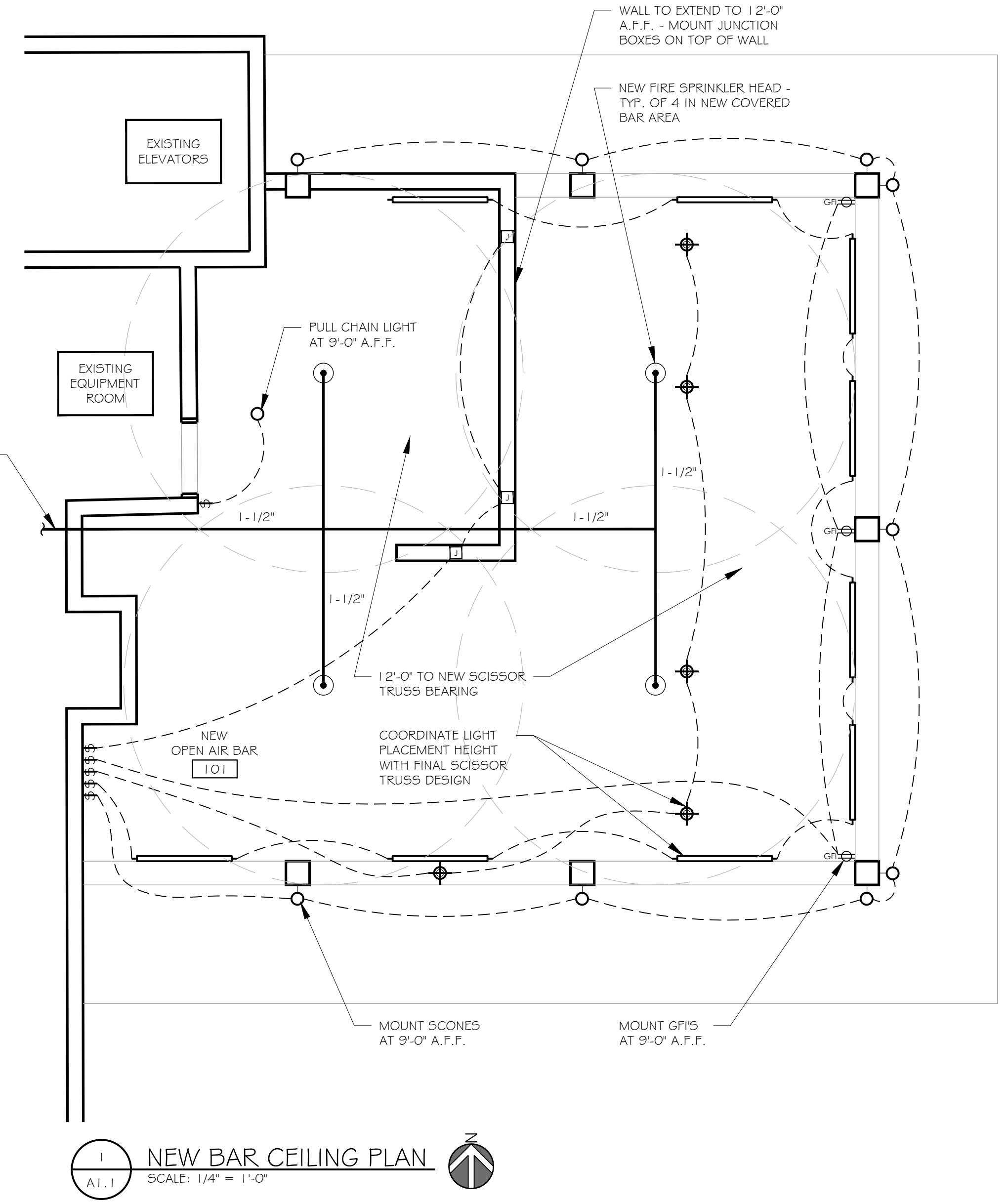
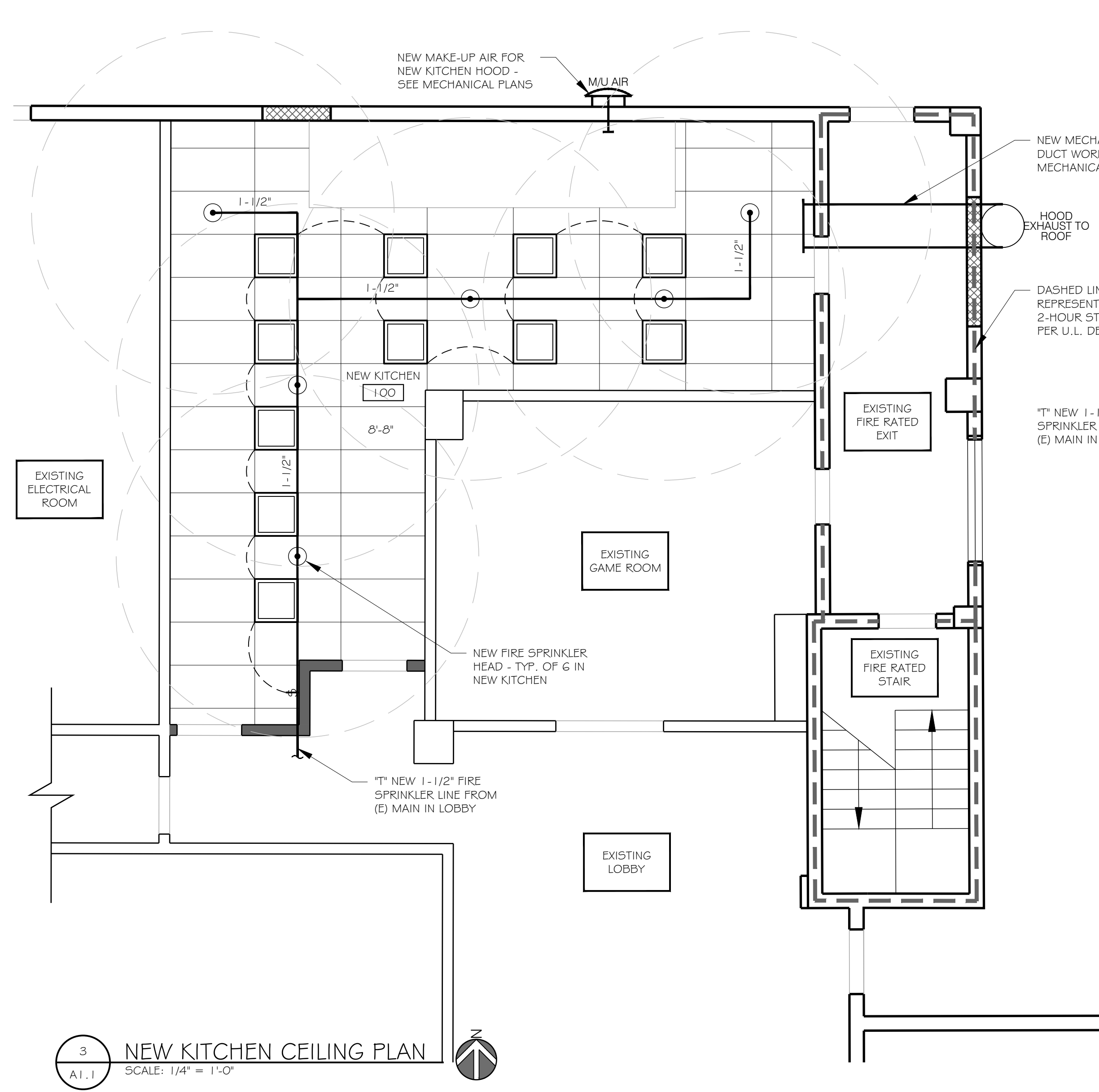
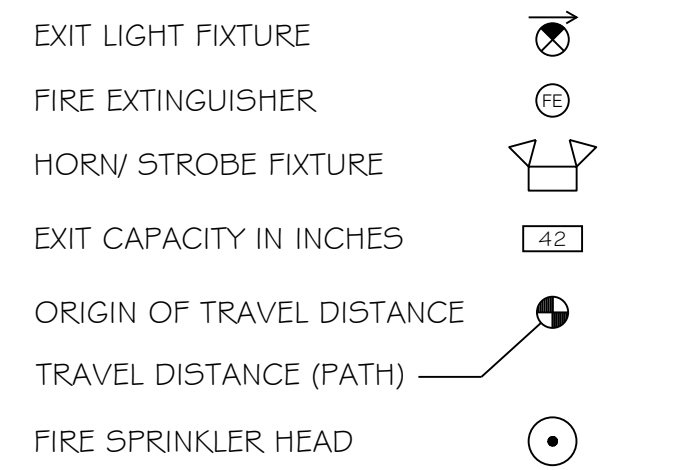
GENERAL ELECTRICAL NOTES:

1. CONTRACTOR TO SUBMIT MANUFACTURER PRODUCT DATA FOR ALL LIGHT FIXTURES (NOT PROVIDED BY OWNER) PRIOR TO INSTALLATION FOR APPROVAL BY OWNER.
2. LUMINARIES THAT ARE RECESSED INTO INSULATED AREAS ARE REQUIRED TO BE RATED FOR INSULATION CONTACT ("IC-RATED"), AIR TIGHT AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING.
3. PERMANENTLY WIRED SMOKE DETECTORS WITH BATTERY BACK UP, PER CHAPTER 12 OF THE UBC, ARE REQUIRED TO BE CENTRALLY LOCATED IN EACH SLEEPING ROOM AND ON THE CEILING OF THE CORRIDOR GIVING ACCESS TO SLEEPING ROOMS. ALL DETECTORS TO BE AUDIBLE IN ALL ROOMS AND NOT ON A GFI CIRCUIT.
4. SWITCH HEIGHT TO BE +44" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
5. SWITCHES AND FACEPLATES TO MATCH EXISTING.
6. CONTRACTOR TO SELECT ALL LIGHT FIXTURES WITH TENANT.
7. CONTRACTOR TO PROVIDE FLUORESCENT LAMPS WITH COLOR TEMPERATURES PER TENANT'S REQUIREMENTS - VERIFY PRIOR TO ORDERING.

ELECTRICAL REFLECTED CEILING LEGEND



LIFE SAFETY LEGEND

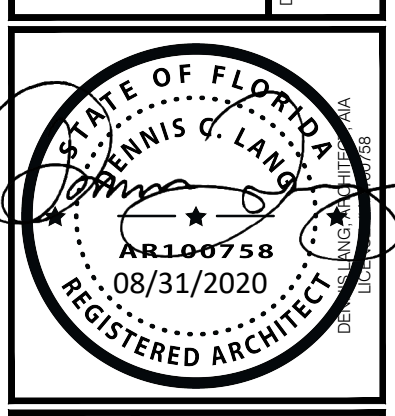


REVISIONS	
NO.	DESCRIPTION

NO.	DATE

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

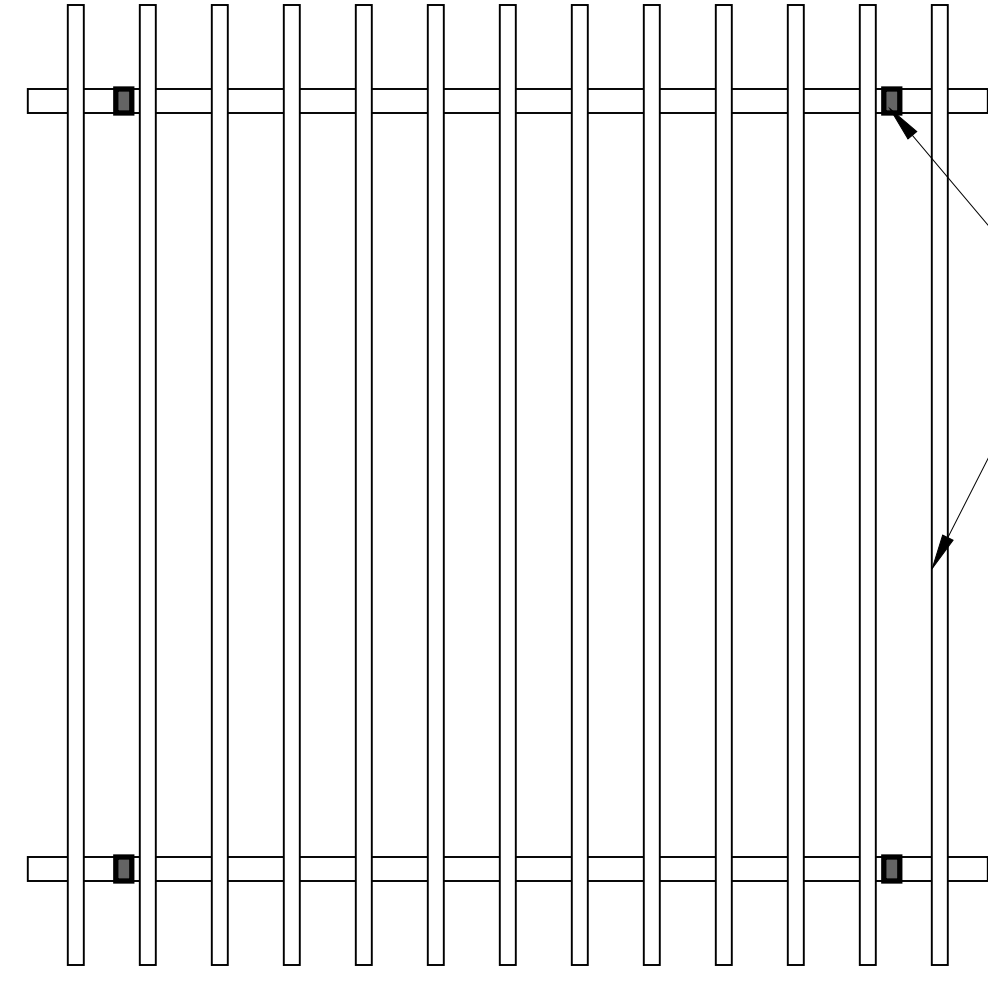
CONSULTANT



LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT

FL LICENSE #AR100758 | AA REGISTRATION #82111970
6 BELLEME DRIVE, TREASURE ISLAND, FL 33706
TEL: (727) 696-9677

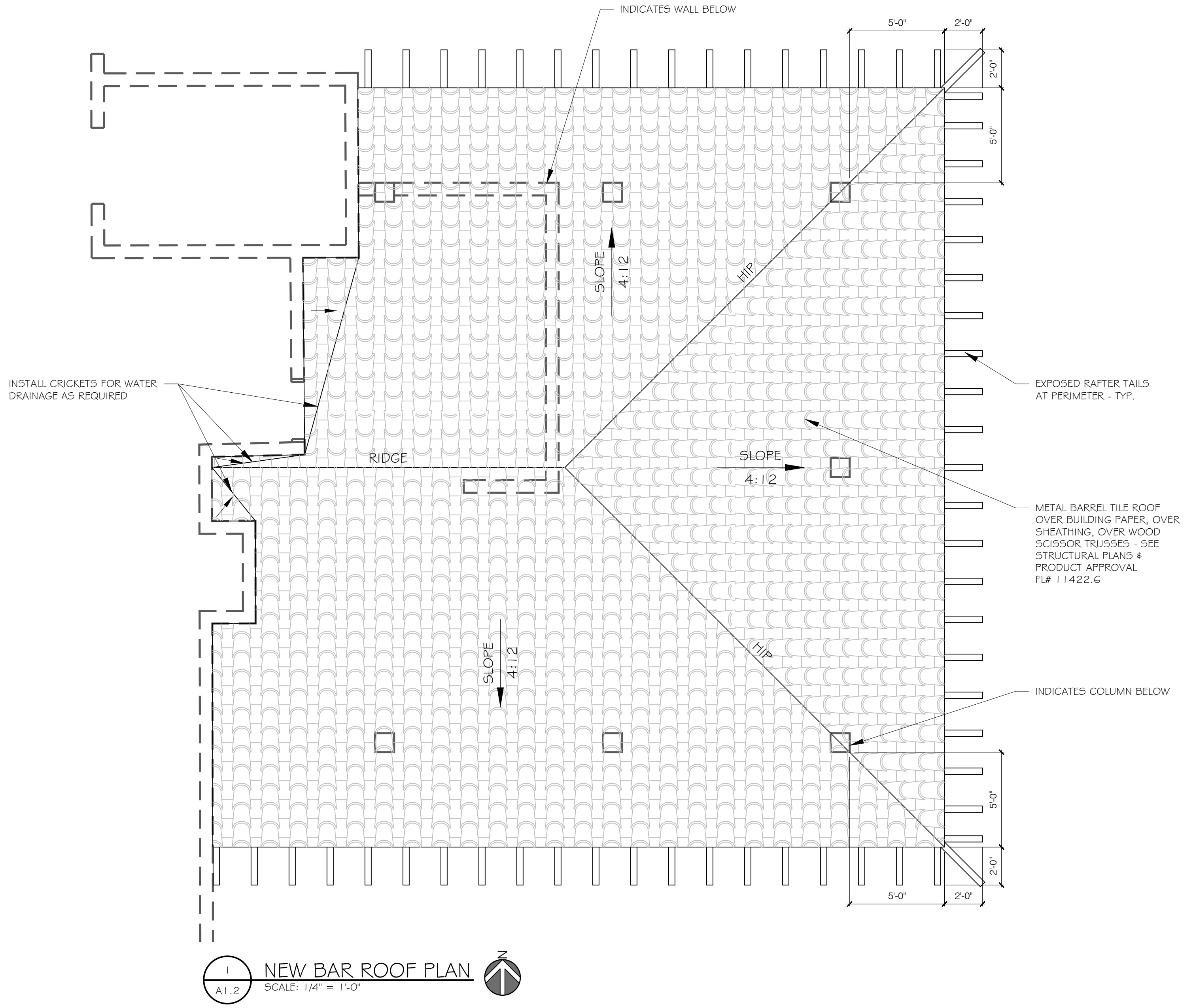
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DATE: 8-31-20
PROJECT #: 1905
SHEET: A1.1



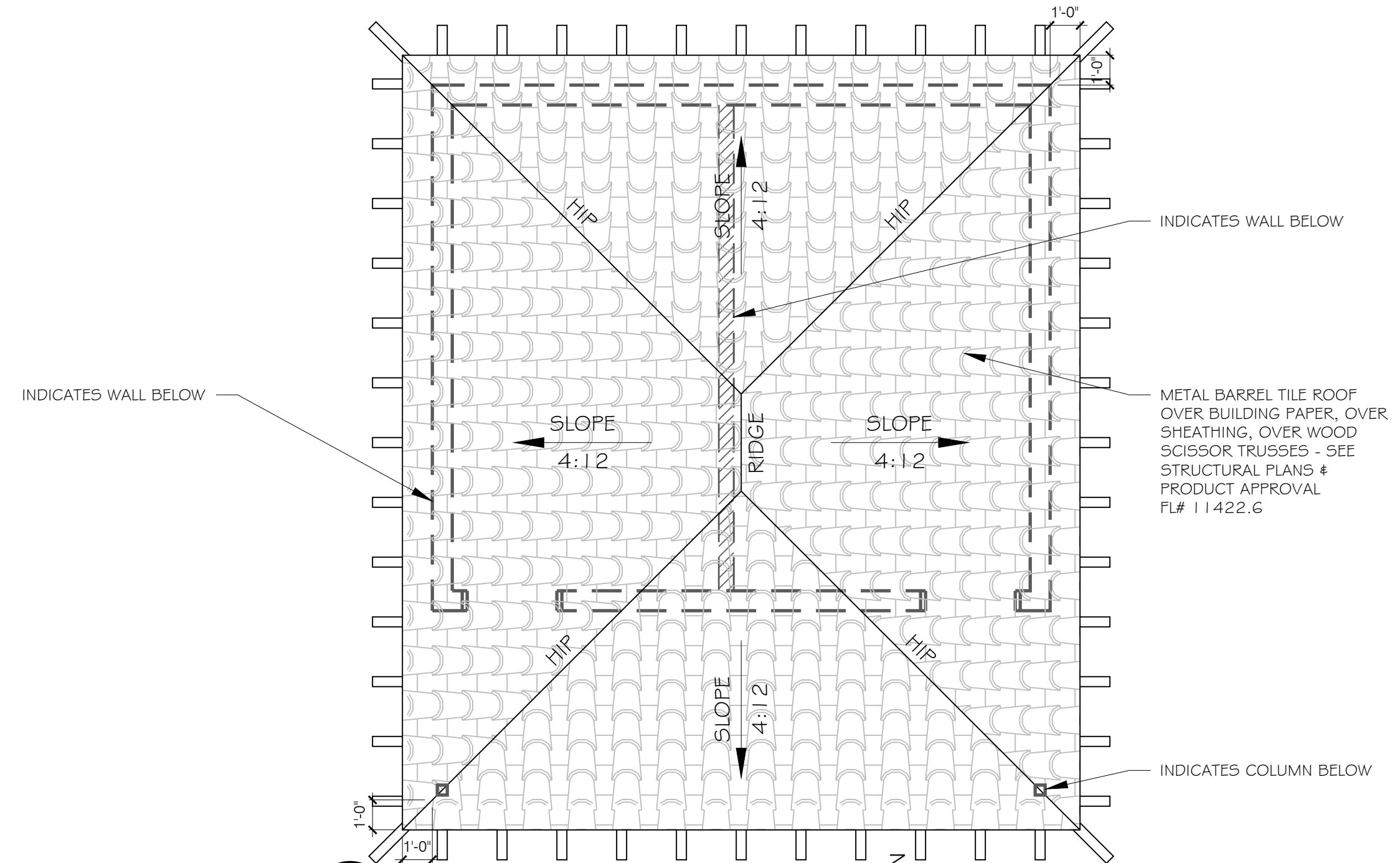
INDICATES (E) COLUMN BELOW

EXISTING PRE-FABRICATED OPEN AIR METAL CANOPY COVER - PAINT WITH DIRECT TO METAL PAINT

3 NEW MUSIC CABANA ROOF PLAN
A1.2 SCALE: 1/4" = 1'-0"



1 NEW BAR ROOF PLAN
A1.2 SCALE: 1/4" = 1'-0"



2 NEW RESTROOM ROOF PLAN
A1.2 SCALE: 1/4" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE PROJECT'S MINIMUM REQUIREMENTS AS DETERMINED IN ACCORDANCE WITH THE STATE OF FLORIDA'S BUILDING CODES AND REGULATIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT IN ACCORDANCE WITH THE PROFESSIONAL SERVICES AGREEMENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS, NOR THE ACCURACY OF ANY INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THE ARCHITECT'S OWN INVESTIGATION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT IN ACCORDANCE WITH THE PROFESSIONAL SERVICES AGREEMENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS, NOR THE ACCURACY OF ANY INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THE ARCHITECT'S OWN INVESTIGATION.

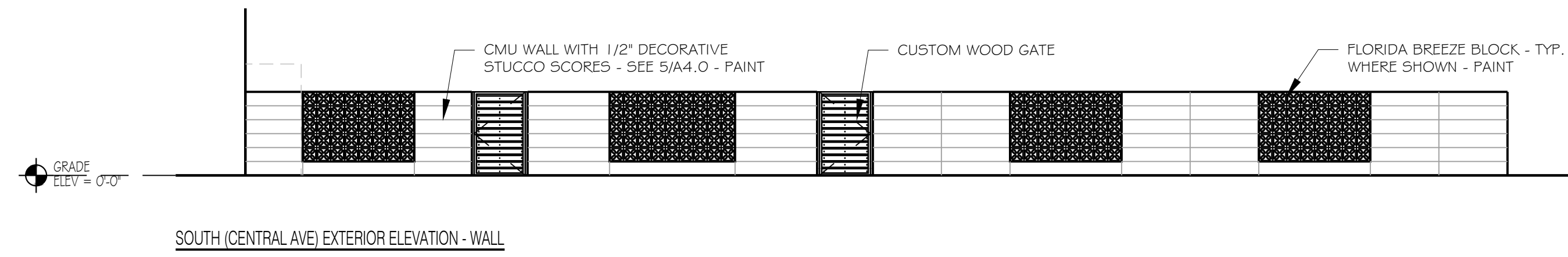
NO.	DATE	DESCRIPTION
1		

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

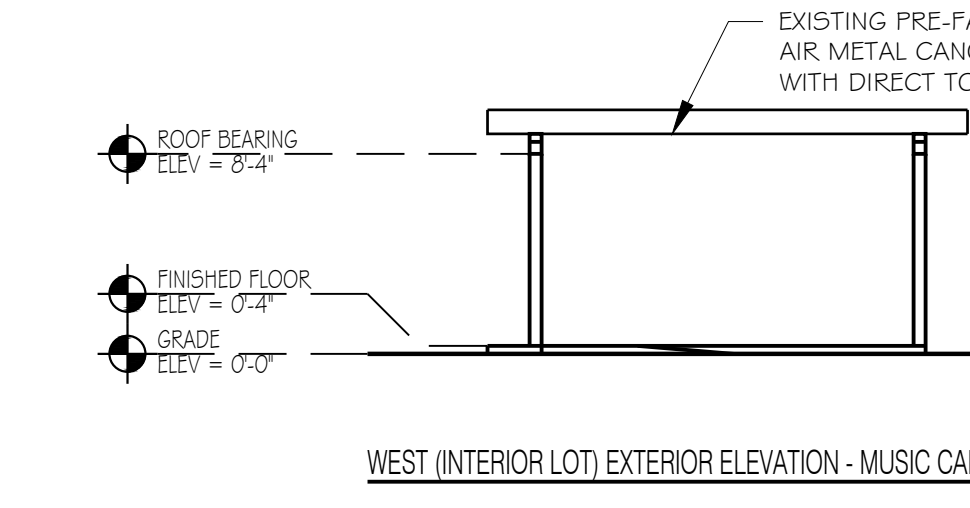
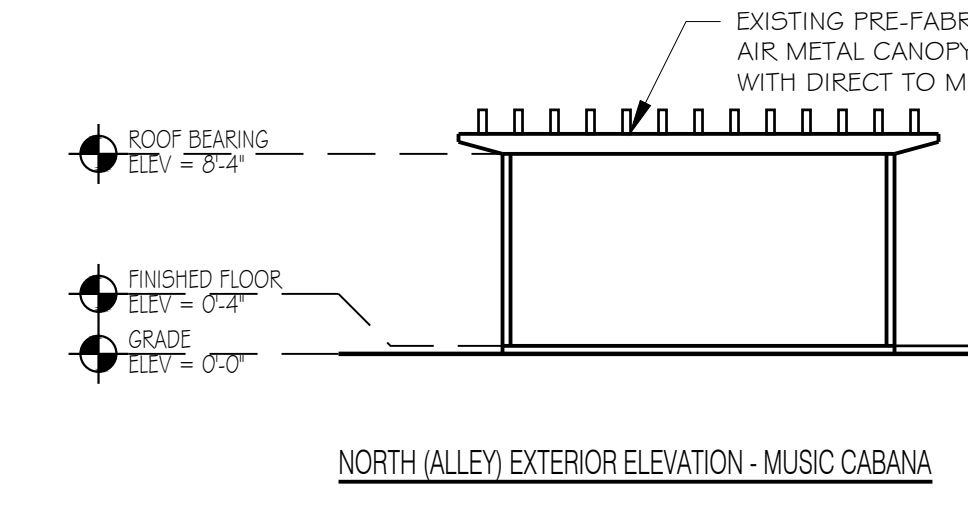
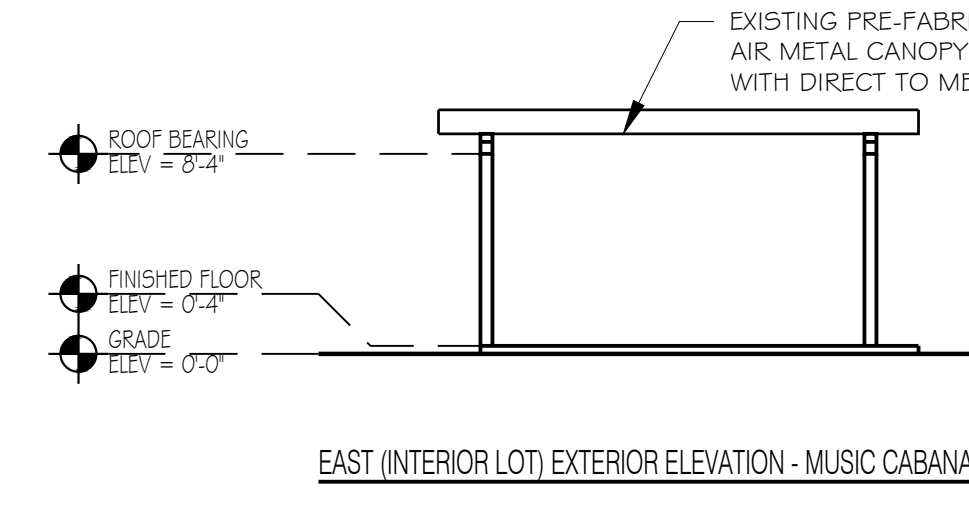
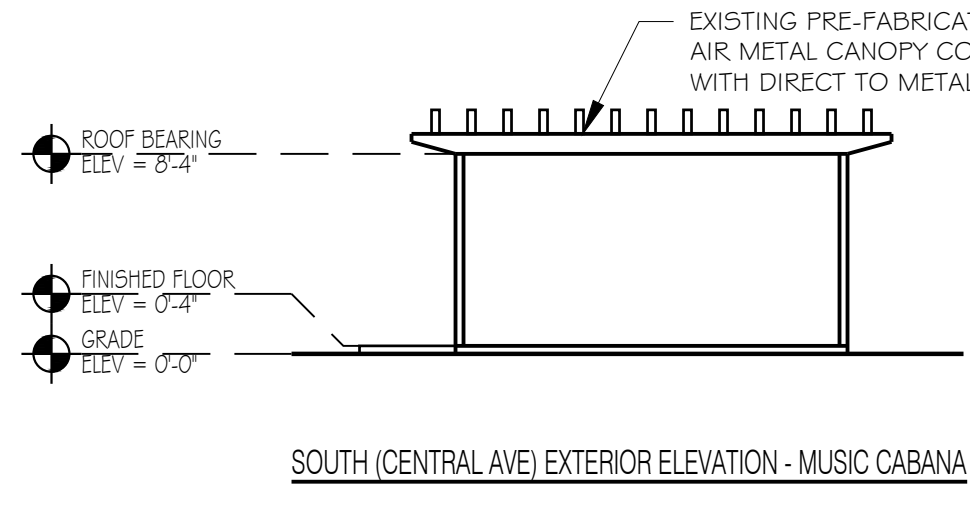
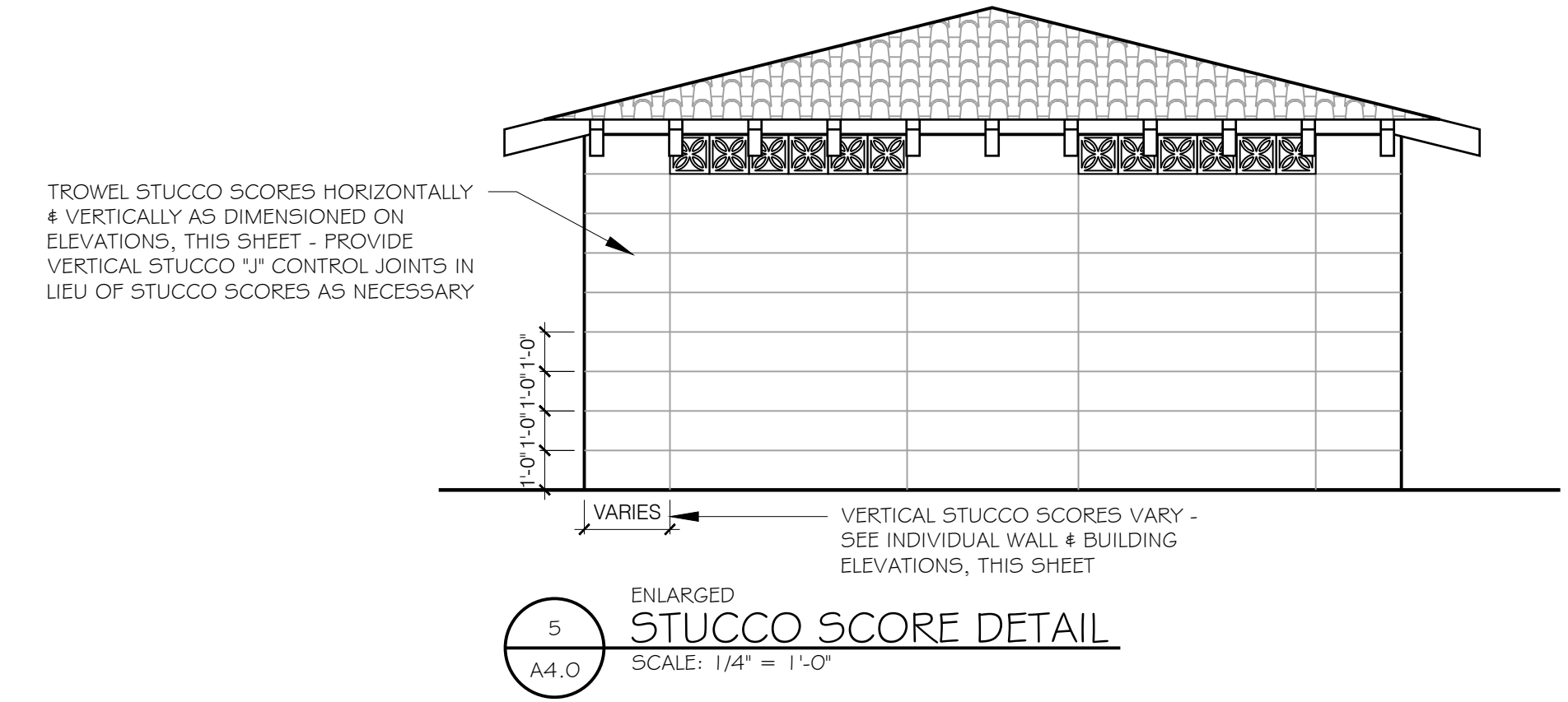
LANG + FERFOGLIA ARCHITECTURE | DEVELOPMENT
FL LICENSE #AR100258 | AIA REGISTRATION #89211070
6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
TEL: (727) 696-5677

STATE OF FLORIDA
DENNIS G. LANG
AR100758
08/31/2020
REGISTERED ARCHITECT

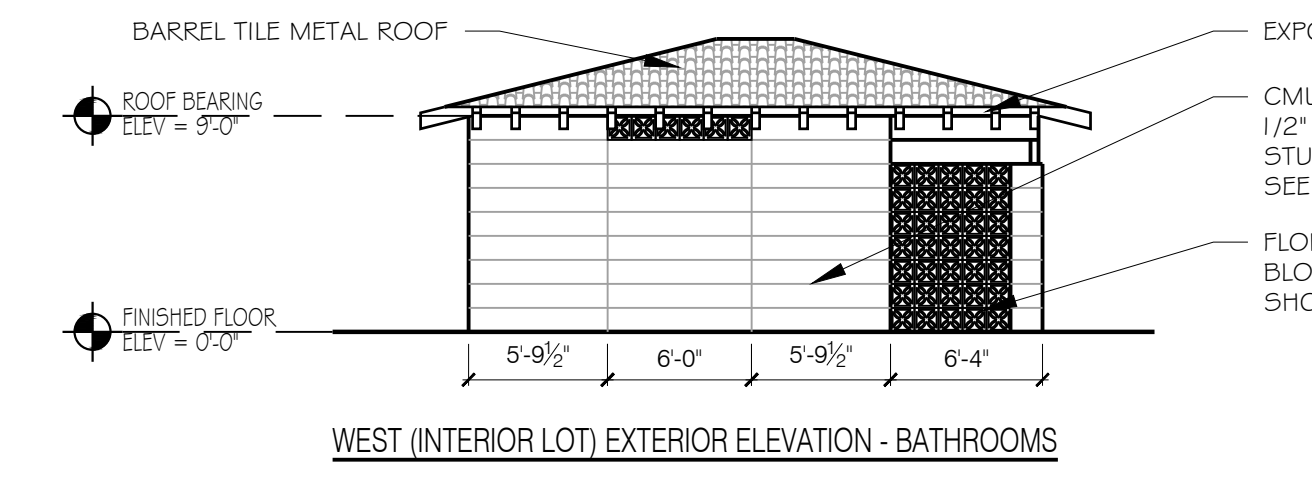
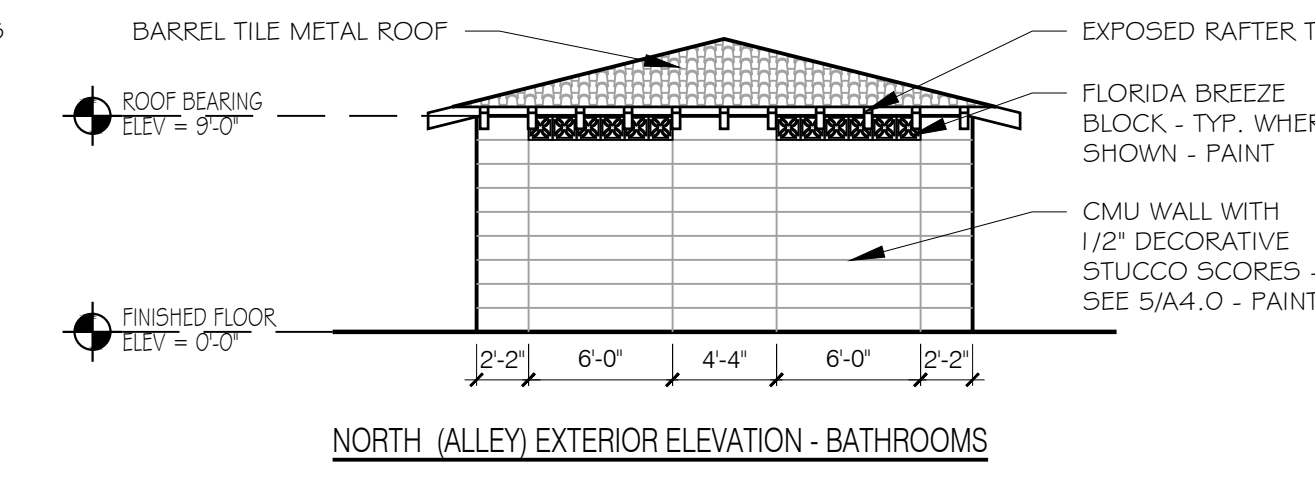
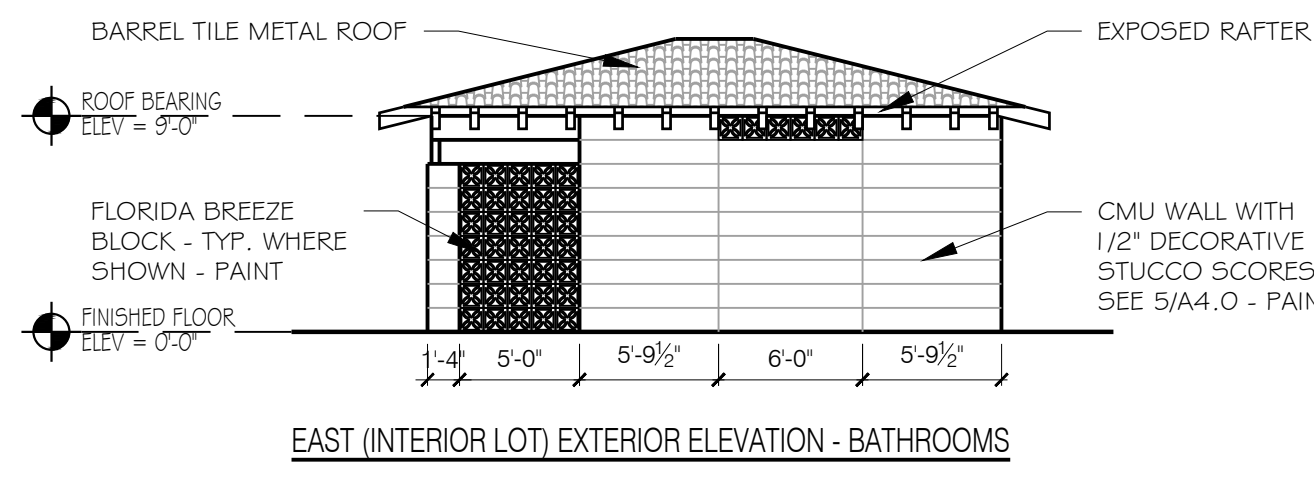
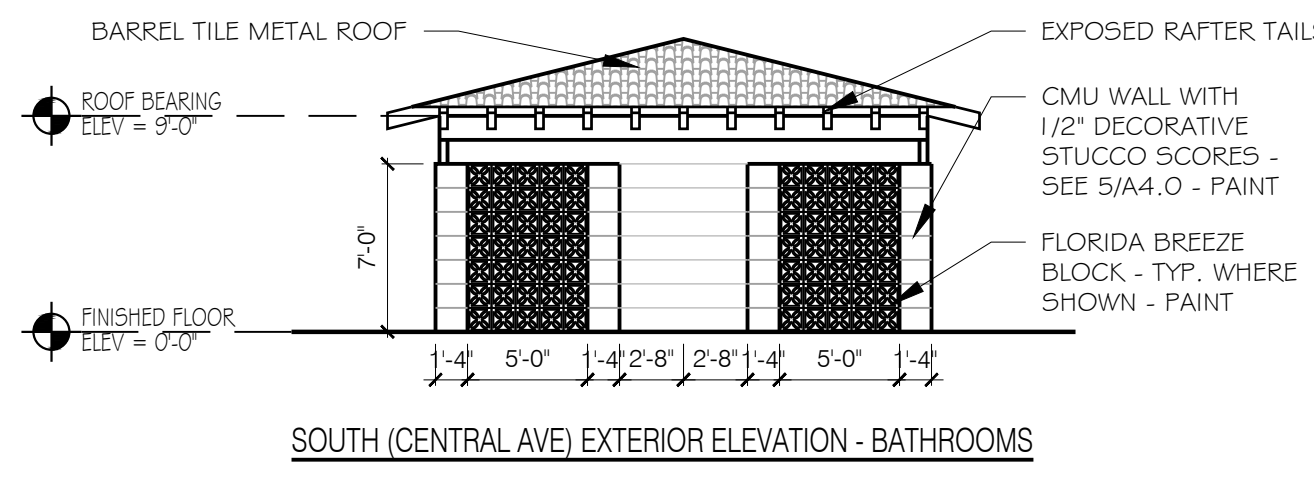
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DATE: 8-31-20
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SHEET: A1.2



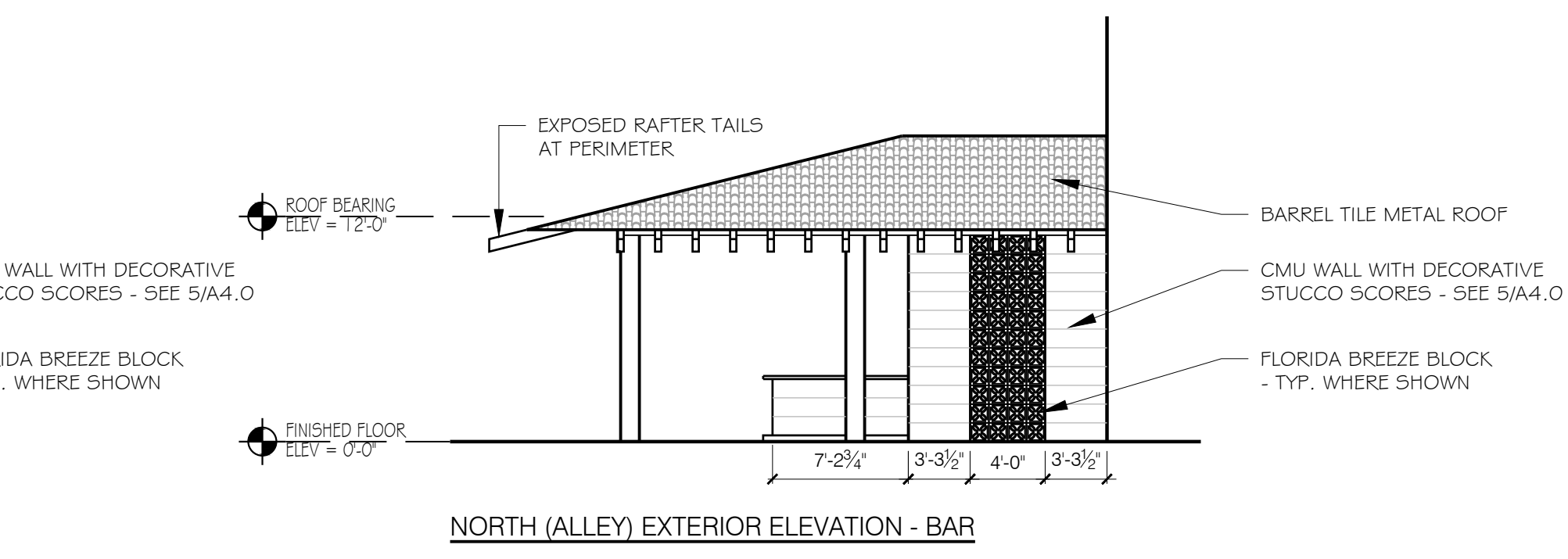
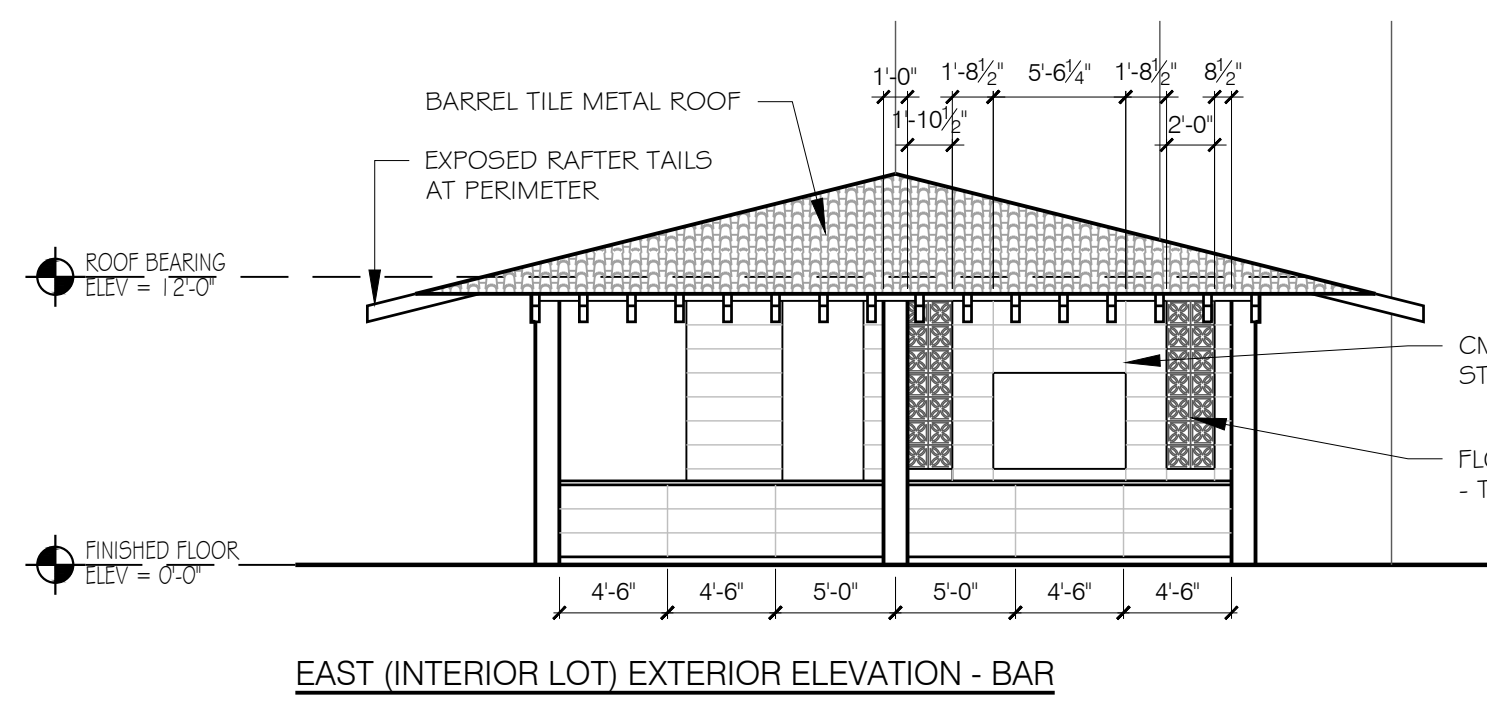
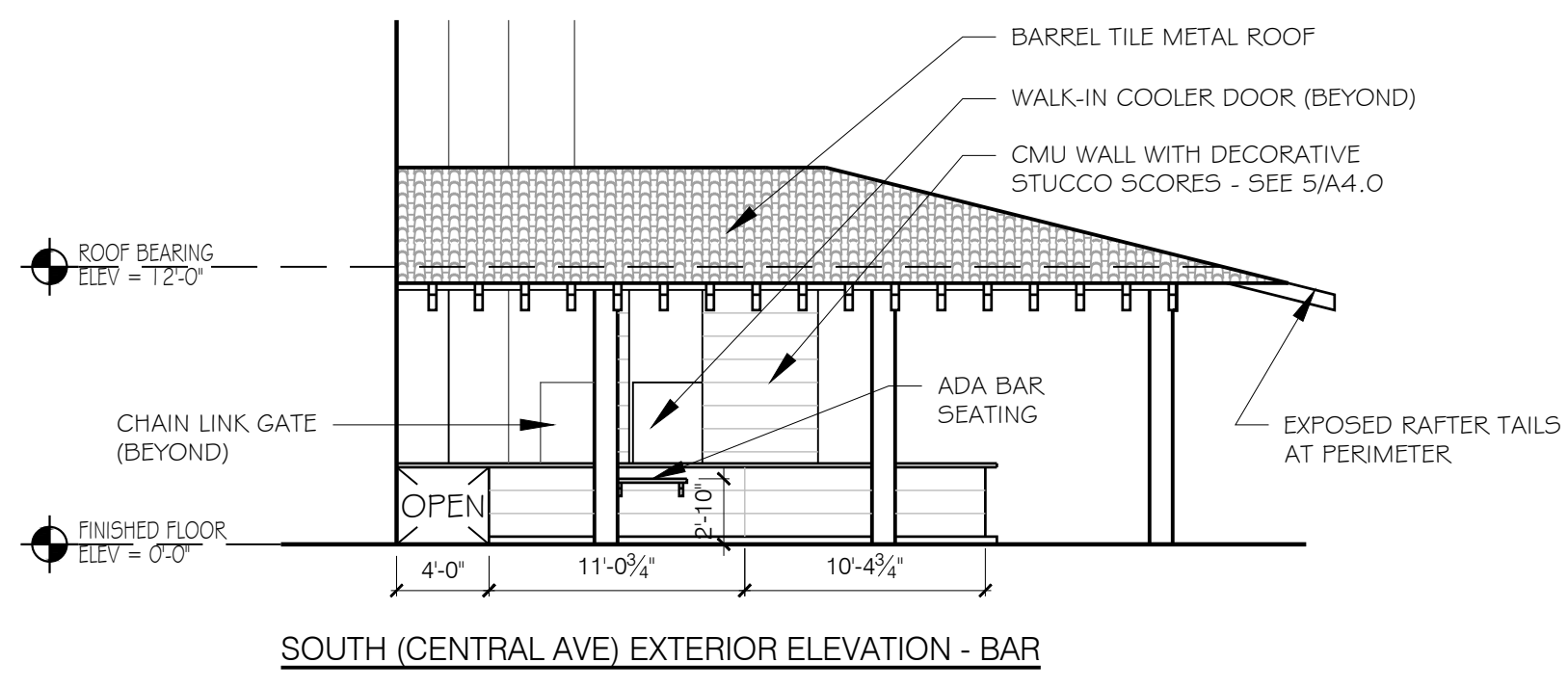
4 FRONT PROPERTY LINE DECORATIVE MASONRY WALL
SCALE: 1/4" = 1'-0"



3 NEW MUSIC CABANA EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



2 NEW RESTROOM EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



ALL FINISH COLORS TO MATCH THE (E) HOTEL BUILDING

1 NEW BAR EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE PREVENTION AND SAFETY REGULATIONS AS ADOPTED BY THE JURISDICTION.

REVISIONS

NO	DATE	DESCRIPTION
1		

CONSULTANT

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

STATE OF FLORIDA
JENNIS G. LANG
AR1100758
08/31/2020
REGISTERED ARCHITECT

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT
FL LICENSE #AR1100758 | AIA REGISTRATION #49211070
6 BELLEME DRIVE, TREASURE ISLAND, FL 33706
TEL: (727) 696-9677

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DATE: 8-31-20
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SHEET: A4.0

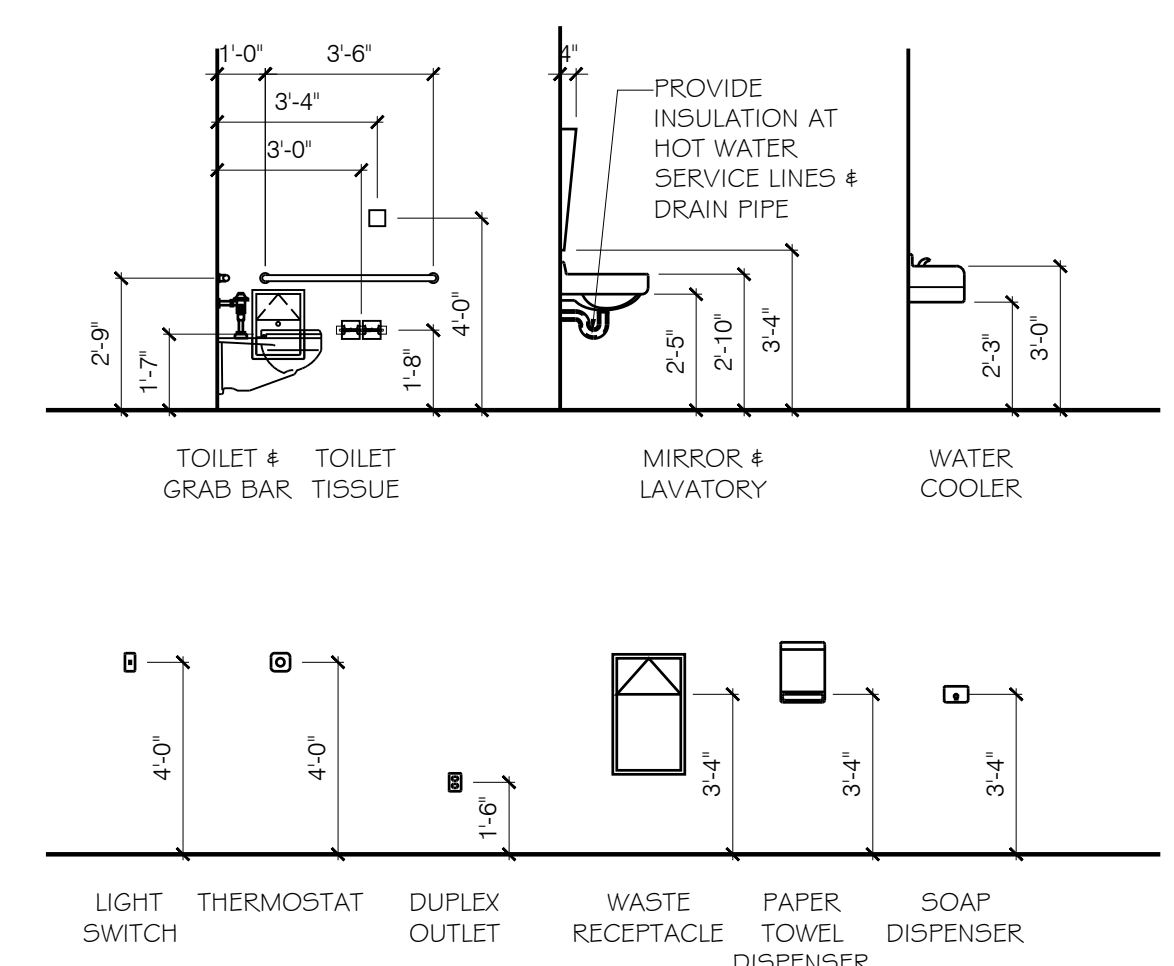
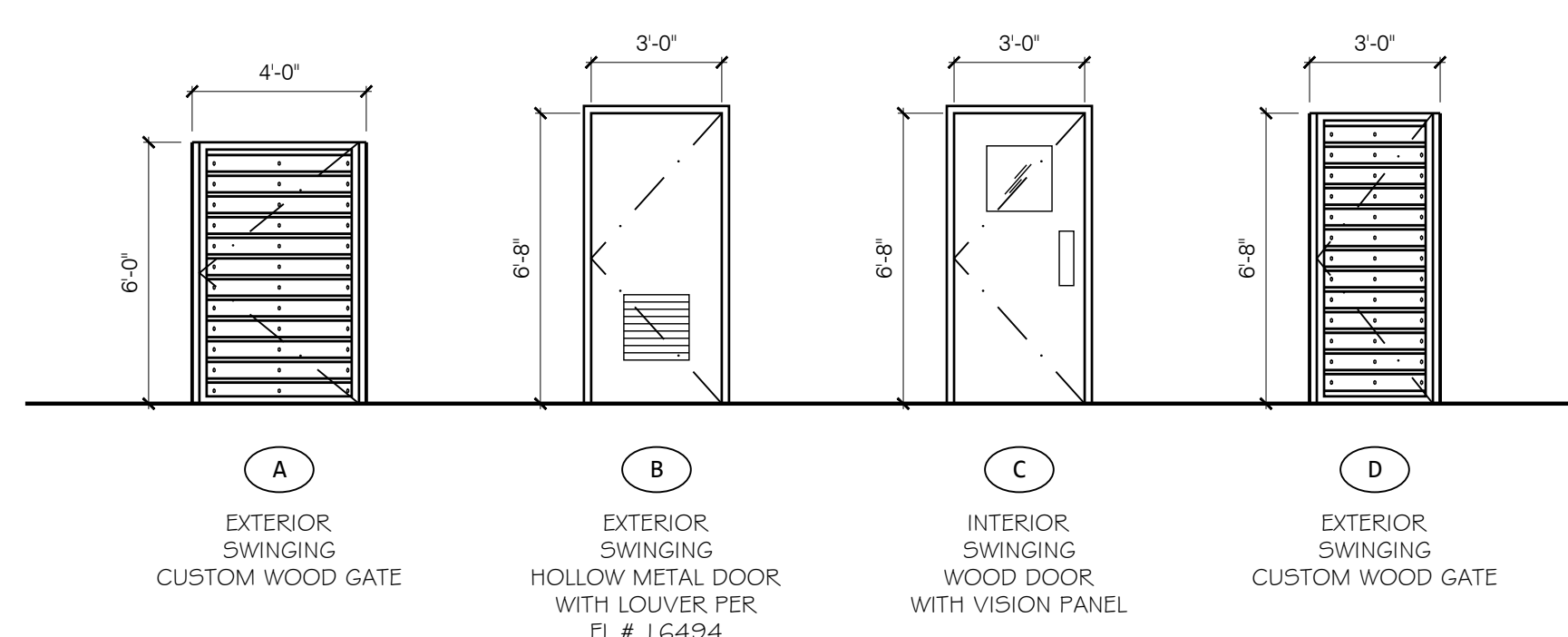
ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	CLG. HGT.	FLOOR		BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		REMARKS / NOTES
			MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	
100	NEW KITCHEN	8'-8"	(E)	SC	RUB	COVE	GYP	FRP/PNT	GYP	FRP/PNT	GYP	FRP/PNT	GYP	FRP/PNT	ACT	MFR	SUPPLY WHITE, WASHABLE CEILING TILE
101	NEW OPEN AIR BAR	12'-0"	SC	-	RUB	COVE	CMU/ST	PNT	CMU	PNT	CMU	PNT	ST	PNT	WD	PNT	12'-0" TO SCISSOR TRUSS BEARING
102	NEW MUSIC CABANA	(E)	SC	-	-	-	-	PNT	-	PNT	-	PNT	-	PNT	-	PNT	DIRECT TO METAL PAINT ON (E)
103	NEW VESTIBULE	9'-0"	SC	-	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	WD	PNT	9'-0" TO UNDER SIDE OF TRUSS
104	NEW MEN'S RESTROOM	9'-0"	SC	-	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	WD	PNT	9'-0" TO UNDER SIDE OF TRUSS
105	NEW WOMEN'S RESTROOM	9'-0"	SC	-	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	WD	PNT	9'-0" TO UNDER SIDE OF TRUSS

FINISH SCHEDULE LEGEND & NOTES

ACT = ACOUSTICAL CEILING TILE BY MANUFACTURER MFR = CONCRETE MASONRY UNIT COVE BASE (E) = EXISTING GYP = GYPSUM WALL BOARD PNT = PAINT - COLOR: TBD BY TENANT	RUB = RUBBER COVE BASE SC = SEALED CONCRETE ST = STUCCO WD = WOOD NOTE: USE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET LOCATIONS	1. ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS 'C' FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. 2. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER. 3. PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O. 4. USE EPOXY PAINT AT EXTERIOR, WET AREAS.
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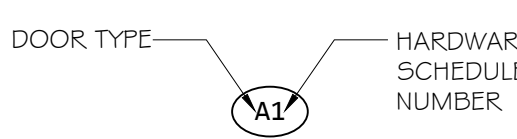
DOOR TYPES



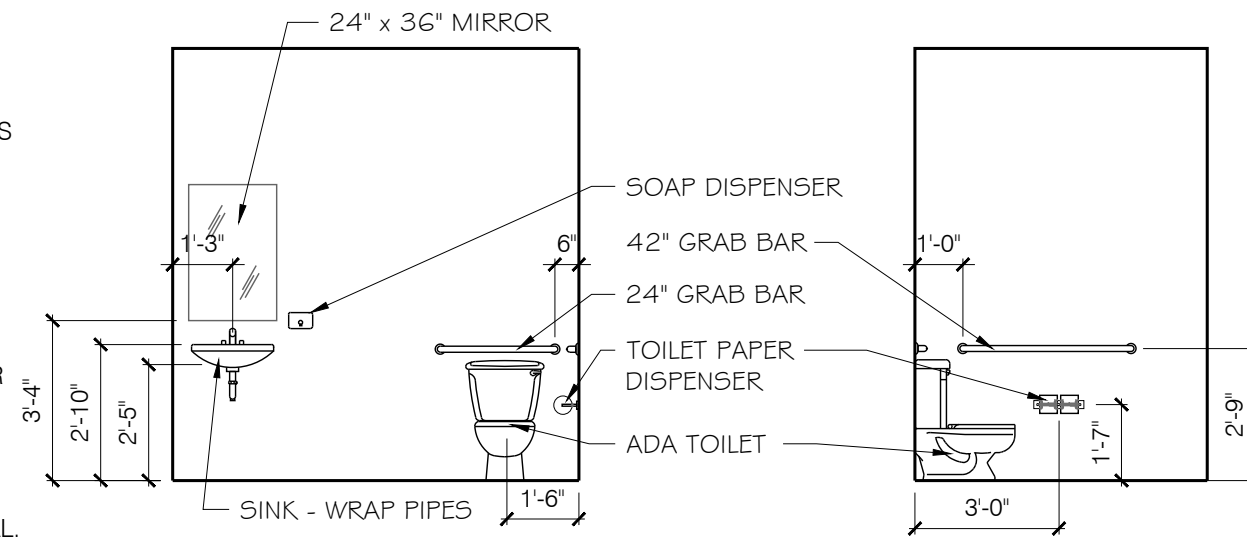
DOOR HARDWARE SCHEDULE & NOTES

- EXTERIOR HEAVY-DUTY SELF-CLOSING GATE HINGES, PANIC HARDWARE ON INTERIOR SIDE & ADA LEVER WITH LOCK ON EXTERIOR SIDE (DOOR REMAINS UNLOCKED DURING BUSINESS HOURS)
- EXTERIOR HARDWARE - HINGES, ADA LEVER ON EACH SIDE & LOCK ON EXTERIOR SIDE
- INTERIOR HEAVY-DUTY SELF-CLOSING CAFE DOOR KITCHEN HINGES WITH PUSH PLATE ON EACH SIDE
- EXTERIOR HARDWARE - HINGES, SELF CLOSURE DEVICE, ADA LEVER EACH SIDE & DEAD BOLT ON EXTERIOR SIDE (DOOR REMAINS UNLOCKED DURING BUSINESS HOURS)

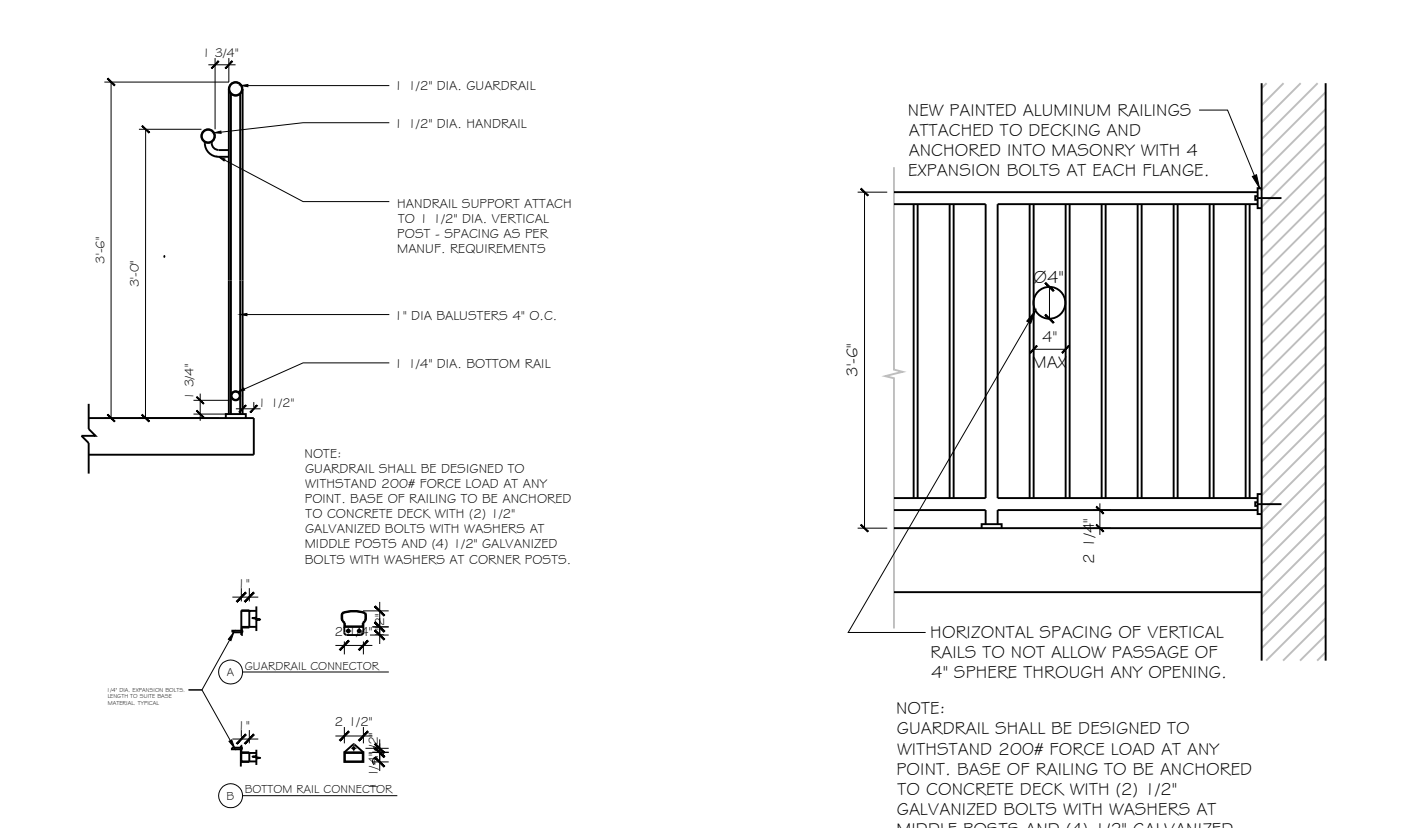
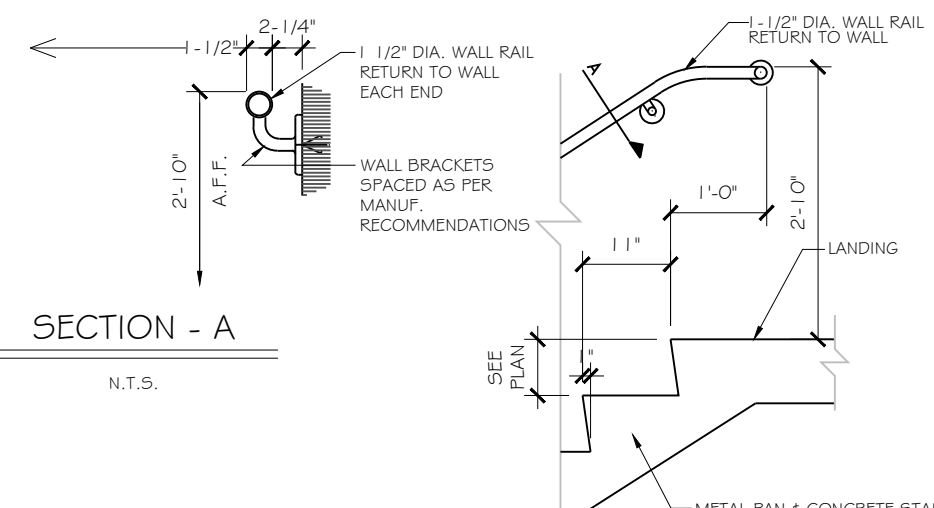
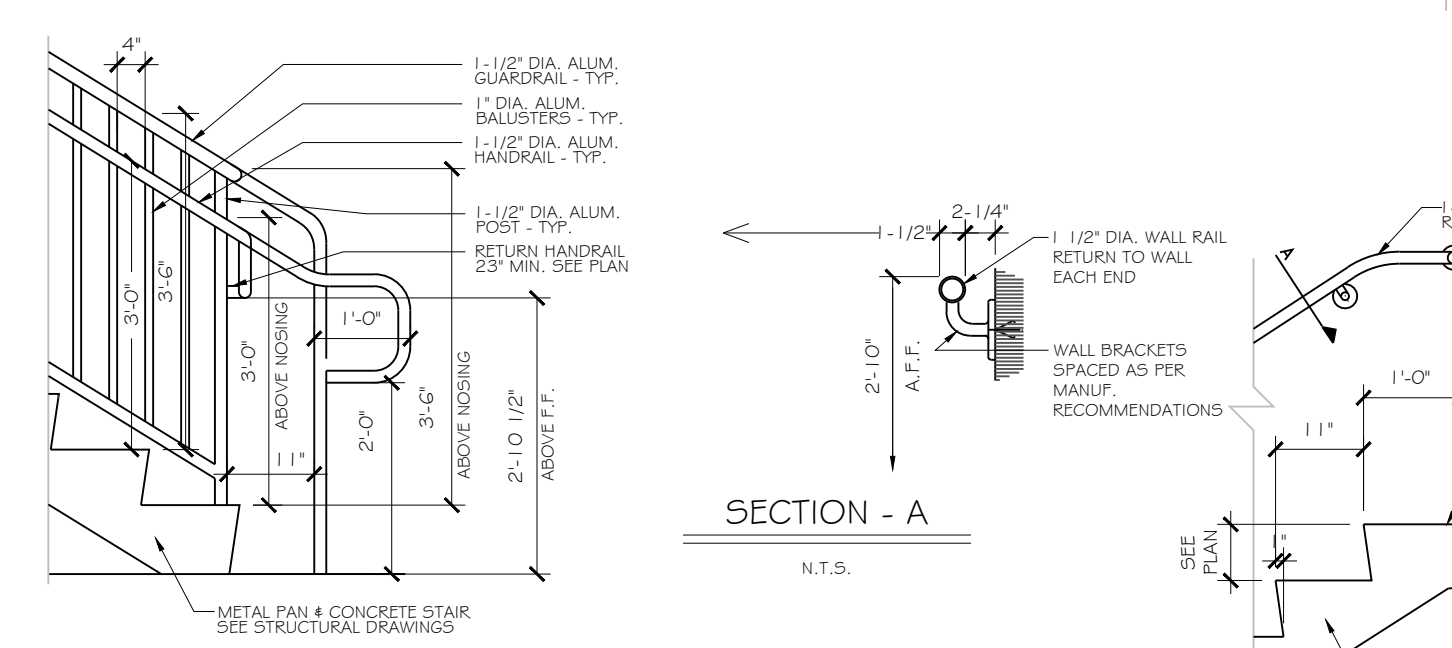
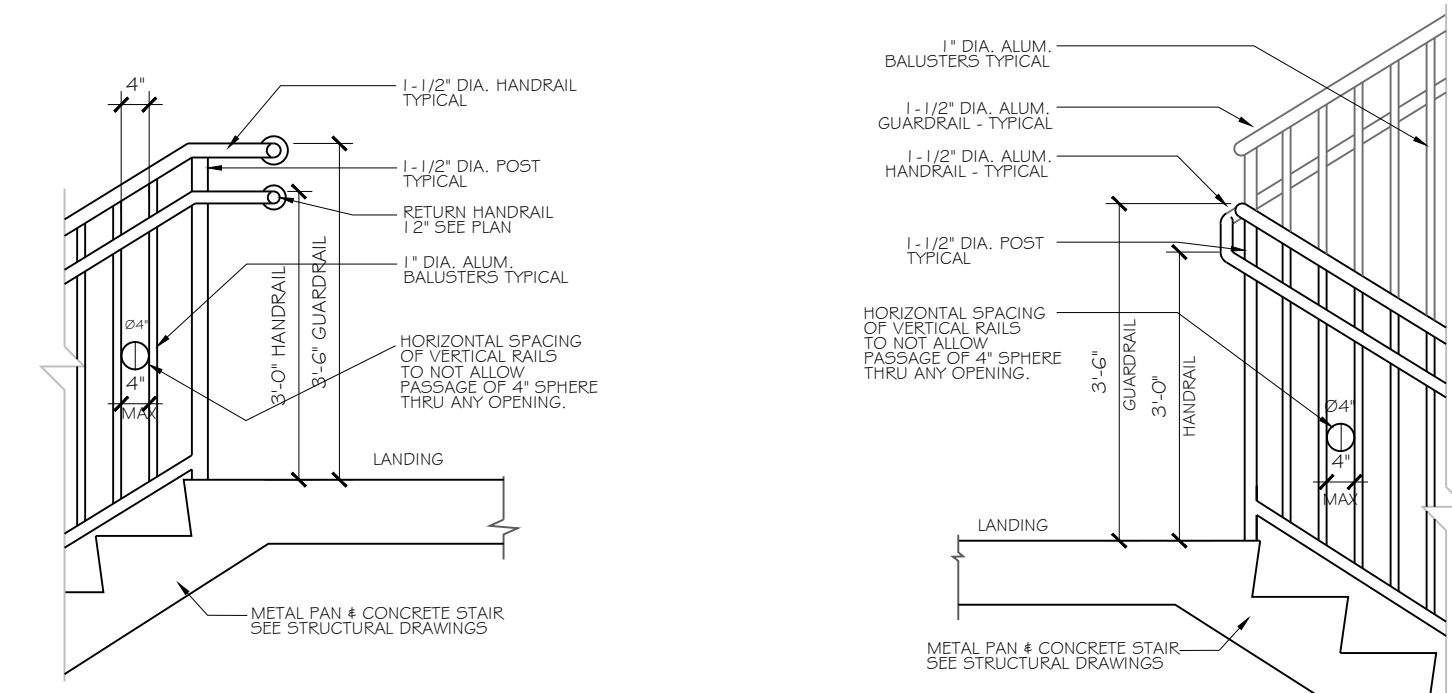
DOOR LEGEND



- GENERAL DOOR NOTES:
- ALL HARDWARE TO HAVE ADA APPROVED LEVER HANDLES & INTERIOR CLOSERS SHALL OPEN W/ 5# MAX PULL.
 - ALL HARDWARE FINISH TO BE BRUSHED NICKEL.
 - FIELD MEASURE SIZE OF ALL REPLACEMENT DOORS PRIOR TO DOOR SUBMITTAL. DOOR SHALL FIT WITHIN EXISTING ROUGH OPENING WITH ADJUSTMENTS MADE FOR ARCHITECTURAL DETAILS AS SHOWN.
 - ALL DOORS SHALL OPEN FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT U.N.O.
 - VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER SPECS PRIOR TO FRAMING.
 - REFER TO ACCESSIBILITY NOTES FOR ADDITIONAL REQUIREMENTS.
 - ON THE FLOOR PLAN, DOOR SWING CONTAINING DOOR SYMBOL INDICATES ACTIVE LEAF.
 - COORDINATE KEYING REQUIREMENTS WITH OWNER PRIOR TO DOOR SUBMITTAL.



TYPICAL
1
ADA MOUNTING HEIGHTS & INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



TYPICAL
2
ADA MOUNTING HEIGHTS & INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE MOST RECENT EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE MOST RECENT EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS.

REVISIONS		DESCRIPTION
NO.	DATE	
1		

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT

FL LICENSE #AR100254 | AIA REGISTRATION #89211070
8 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
TEL: (727) 696-9677

DRAWN BY:	DL/ SFF
DATE:	8-31-20
PROJECT #:	1905
SHEET:	A5.0

FOUNDATION NOTES:

- REFER TO NOTES UNDER FOUNDATION PLANS.
- THICKENED SLAB ELEVATIONS SHOWN ON THESE DRAWINGS ARE BASED UPON INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THE DESIGN. IF ACTUAL JOBSITE OR SOIL CONDITIONS VARY FROM THOSE ASSUMED, THEN WRITTEN DIRECTIONS MUST BE OBTAINED FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- KEEP EXCAVATIONS CONTINUALLY DRY BEFORE CONCRETE IS POURED. IF THE SOIL IS SOFTENED BY WATER, THE EXCAVATION SHALL BE EXTENDED BELOW THE SOFTENED MATERIAL AND THE BOTTOM OF SLAB EDGE LOWERED TO SUIT.

BACKFILLING AND COMPACTION

- UNDER SLABS ON GRADE, REMOVE SOFT SPOTS AND FOREIGN MATTER IN THE SUB-GRADE.
- FILL MATERIAL FOR SUB-BASE OF SLABS ON GRADE SHALL BE CLEAN TO SLIGHTLY SILTY FINE SAND, FREE OF ORGANIC MATTER, CLAY, COBBLES, TRASH, DEBRIS OR OTHER UNSUITABLE MATERIALS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, FILL MATERIAL SHALL BE PLACED IN MAXIMUM 8" HIGH LIFTS OF LOOSE FILL AND COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DRY DENSITY.
- UNLESS NOTED OTHERWISE, PROVIDE UNDER SLABS ON GRADE A 6 MIL POLYETHYLENE VAPOR BARRIER WITH A MINIMUM OF 6" TAPED LAPS, ON A MINIMUM OF 6" OF COMPACTED GRANULAR MATERIAL. COMPACTION OF FILL OR EXISTING MATERIAL SHALL ACHIEVE A MINIMUM OF 98% STANDARD PROCTOR DRY DENSITY.

CONCRETE NOTES:

CONCRETE MIX AND PLACEMENT

- CONCRETE MIX AND PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 301, ACI 318 AND ASTM C-94 STANDARD ENGINEERING PRACTICES.
- UNLESS OTHERWISE NOTED ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS AND SHALL HAVE A SLUMP WITHIN THE RANGE OF 3" TO 5".
- PROVIDE SLEEVES AT ALL PENETRATIONS. I.E. DO NOT CUT OR BORE THROUGH IN PLACE CONCRETE WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT.
- SUBMIT PROPOSED CONCRETE MIX DESIGN IN CONFORMANCE WITH REQUIREMENTS OF #1 ABOVE TO OWNER FOR APPROVAL A MINIMUM OF 10 WORKING DAYS PRIOR TO FIRST ANTICIPATED CONCRETE POUR.
- CONCRETE FOOTINGS, FILLED CELLS, SLABS, PATIO / WALKWAYS AND DRIVEWAYS SHALL BE AS INDICATED ON THESE DRAWINGS.
- FOR READY MIX CONCRETE THE MAXIMUM TIME PERMITTED BETWEEN ADDING MIX WATER AND DEPOSITING CONCRETE IN FORMS IS 90 MINUTES. GREATER TIMES ARE NOT ACCEPTABLE.
- PROVIDE AN APPROVED WATER-REDUCING ADMIXTURE IN ALL CONCRETE CONFORMING TO ASTM C260. ALL OTHER ADMIXTURES SHALL CONFORM TO ASTM C494 AND SHALL BE USED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE ADDITION OF SITE WATER TO INCREASE CONCRETE SLUMP SHALL NOT BE PERMITTED. SUCH PRACTICE WILL BE DEEMED JUST CAUSE TO REJECT THAT PARTICULAR BATCH OF CONCRETE.
- THE USE OF FLY ASH WITHIN THE MIX DESIGN IS PERMITTED SUCH THAT THE WEIGHT OF FLY ASH DOES NOT EXCEED 25% OF THE TOTAL CEMENTICIOUS WEIGHT OF THE CONCRETE.

CONCRETE SLABS

- CONCRETE SLABS SHALL BE 4" ACTUAL THICKNESS AND SHALL BE REINFORCED WITH FIBERMESH REINFORCEMENT.
- PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER ON POISONED SOIL THAT HAS BEEN COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY AND APPROVED BY OWNER.
- EXPOSED SLAB WALKS SHALL RECEIVE A LIGHT BROOM FINISH. INTERIOR SLAB AREAS TO RECEIVE FINISH FLOORING SHALL RECEIVE A STEEL TROWEL FINISH AND SHALL BE CLEAN AND FREE OF DUST AND SEALED WITH A SUITABLE CONCRETE SEALER COMPATIBLE WITH FLOOR FINISH PRIOR TO APPLICATION OF FLOOR FINISHES.

PRECAST CONCRETE

- PRECAST CONCRETE LINTELS SHALL BE AS MANUFACTURED BY "CAST-CRETE" OR APPROVED EQUIVALENT. REFER TO NOTES ON PLAN FOR ADDITIONAL REQUIREMENTS AND DETAILS REGARDING ALL PRECAST CONCRETE LINTELS.

REINFORCING STEEL

- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 AND SHALL BE DETAILED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
- MINIMUM LAP FOR CONTINUOUS REINFORCING STEEL SHALL BE 30 DIAMETERS OR 12" UNLESS SPECIFICALLY NOTED OTHERWISE ON PLAN OR IN SPECIFICATIONS.
- REINFORCING STEEL COVER SHALL BE AS FOLLOWS:

CONCRETE PLACED DIRECTLY IN CONTACT WITH THE GROUND: 3"

CONCRETE EXPOSED DIRECTLY TO THE WEATHER OR IN CONTACT WITH THE GROUND AFTER REMOVAL OF FORMS: 1 1/2"

CONCRETE NOT EXPOSED DIRECTLY TO THE GROUND OR WEATHER
BEAMS: 1 1/2"
SLABS: 3/4"

SLAB REINFORCEMENT

- ALL CONCRETE SLABS SHALL BE REINFORCED WITH FIBERMESH REINFORCEMENT PLACED IN CONCRETE MIX DESIGN IN CONFORMANCE WITH A MANUFACTURER'S RECOMMENDATIONS FOR RESIDENTIAL CONSTRUCTION.
- VAPOR BARRIERS SHALL BE UNPUNCTURED 6 MIL POLYETHYLENE FILM WITH ALL JOINTS LAPPED 6" MINIMUM AND CEMENTED OR TAPED.

MASONRY NOTES:

GENERAL

- MASONRY CONSTRUCTION SHALL CONFORM TO STANDARD BUILDING CODE, LATEST EDITION UNLESS OTHERWISE NOTED.
- BEAMS, LINTELS OR BASE PLATES BEARING ON MASONRY WALLS SHALL HAVE A MINIMUM BEARING OF 8" UNLESS OTHERWISE NOTED. BEARING SHALL BE ON HOLLOW BLOCK FILLED SOLID WITH 2500 PSI CONCRETE. ALL JOINTS ARE TO BE FULLY FILLED WITH MORTAR. THIS SHALL BE DONE FOR A MINIMUM LENGTH EQUAL TO TWICE THE LENGTH OF BEARING, I.E. 16", SYMMETRICAL ABOUT CENTER OF BEARING AND A DEPTH EQUAL TO THE LENGTH OF BEARING.
- AT THE TOP OF LOAD BEARING MASONRY WALLS PROVIDE A MINIMUM OF ONE KNOCK-OUT COURSE FILLED SOLID WITH #5 AND 2500 PSI CONCRETE. SEE PLANS AND SECTIONS FOR FULL DETAILS OR ADDITIONAL REQUIREMENTS FOR CAST IN PLACE AND FORMED CONCRETE TIE BEAMS EITHER ABOVE MASONRY UNITS OR SPANNING LARGE OPENINGS.

CONCRETE MASONRY UNITS

- MASONRY UNITS SHALL BE 7 5/8" x 15 5/8" SIZE MODULAR UNITS.
- UNITS SHALL BE ONE AND TWO CELL BLOCKS, STANDARD WEIGHT MADE OF TYPE I PORTLAND CEMENT, WATER AND APPROVED AGGREGATES, AND SHALL CONFORM TO THE STANDARD SPECIFICATION FOR HOLLOW LOAD BEARING MASONRY UNITS ASTM DESIGNATION C90-70 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI.
- UNITS SHALL BE SAWED, NOT BROKEN, AND SHALL BE NO LESS THAN HALF UNITS, WHERE CUT. ANY EXPOSED BLOCKS SHALL BE LAID IN RUNNING BOND PATTERN, MECHANICALLY BONDED BY OVERLAPPING ALTERNATE COURSES. PROVIDE SLEEVES AT ALL PENETRATIONS.

MORTAR

- MASONRY MORTAR SHALL CONFORM TO ASTM C270 AND SHALL BE TYPE S MORTAR WHERE NOT IN CONTACT WITH EARTH OR TYPE M WHERE IN CONTACT WITH EARTH.
- ALL MORTAR JOINTS SHALL BE 3/8" - 5/8" IN THICKNESS AND SHALL BE FLUSH CUT.

CELL REINFORCEMENT

- IN HOLLOW MASONRY CONSTRUCTION EXTERIOR MASONRY UNIT CELLS SHALL BE REINFORCED WITH #5 BAR AT CORNERS, SIDES OF OPENINGS, EACH SIDE OF TRANSITION IN WALL HEIGHT AND AT 12'-0" ON CENTER MAXIMUM. THIS REINFORCEMENT SHALL BE CONSIDERED A MINIMUM AND IS BASED UPON A 9'-4" HIGH WALL IN 100 MPH WIND ZONE. REFER TO PLANS FOR MORE SPECIFIC REQUIREMENTS THAN THIS MINIMUM VALUE.
- REINFORCEMENT SHALL CONFORM TO ASTM A615 GRADE 40 (MINIMUM YIELD STRENGTH OF 60,000 PSI).
- VERTICAL WALL REINFORCEMENT SHALL BE LAPPED AND TIED 25" AT EACH SPLICE LOCATION. SPLICES SHALL BE LOCATED AT EACH GROUT LIFT LOCATION WITHIN MASONRY WALL.

GROUTED CELLS

- MASONRY GROUT SHALL COMPLY WITH THE FINE GROUT REQUIREMENTS OF ASTM C476. THE SLUMP SHALL BE 6" +/- 1" AND THE MINIMUM COMPRESSIVE STRENGTH SHALL BE 2500 PSI AT 28 DAYS CONSOLIDATED BY PUDDLING OR VIBRATING.
- GROUTED CELLS SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAN, UNOBSTRUCTED, CONTINUOUS VERTICAL CELL FREE OF MORTAR DROPPINGS.
- GROUT SHALL BE POURED IN LIFTS NOT TO EXCEED 9'-4" IN VERTICAL HEIGHT.
- CLEANOUT INSPECTION OPENINGS SHALL BE PROVIDED AT THE INTERIOR SIDE OF THE BOTTOM OF EACH GROUT LIFT FOR EVERY GROUTED CELL.
- WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, THE GROUTING SHALL BE STOPPED A MINIMUM OF 1 1/2" BELOW THE TOP OF THE UPPERMOST UNIT.

END OF DIVISION IV

WOOD NOTES:

ROUGH WOOD FRAMING

- IF EXISTING DETAILS DIFFER FROM THE CONTRACT DOCUMENTS, NOTIFY OWNER PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- CONNECTIONS, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CHAPTER XVII, WOOD CONSTRUCTION, OF THE MOST RECENT EDITION OF THE STANDARD BUILDING CODE AND IN ACCORDANCE WITH THE TIMBER CONSTRUCTION MANUAL BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) OR SOUTHERN PINE INSPECTION BUREAU (SPIB). MOISTURE CONTENT SHALL NOT BE MORE THAN 19 % AT TIME OF INCORPORATION INTO BUILDING.
- ALL WOOD FRAMING IN WOOD STUD BEARING WALLS SHALL BE #2 HEM-FIR OR EQUIVALENT UNLESS SPECIFICALLY NOTED OTHERWISE ON PLAN.
- STUD WALLS SHALL BE COMPOSED OF 2X4 @ 16" ON CENTER UNLESS OTHERWISE SHOWN.
- PROVIDE A MINIMUM OF THREE 2X4 STUDS AT EACH END OF ALL OPENINGS UNLESS OTHERWISE SHOWN.
- WHERE CONNECTIONS HAVE NOT BEEN SPECIFICALLY SHOWN ON PLAN, PROVIDE FRAMING ANCHORS IN ORDER TO TRANSFER THE DESIGN LOADS AS INDICATED ON THE DRAWINGS. IN ABSENCE OF EXACT JOINT LOADS ALL CONNECTIONS SHALL BE DETAILED TO DEVELOP THE FULL CAPACITY OF CONNECTED MEMBERS.
- ALL EXPOSED EXTERIOR WOOD SHALL BE PRESSURE TREATED (P.T.) WITH CHROMATED COPPER ARSENATE (CCA) IN ACCORDANCE WITH AWP C2 TO PROVIDE 0.60 POUNDS/CUBIC FOOT RETENTION BY ASSAY OF TREATED WOOD. WOOD SHALL BEAR THE AWPB QUALITY MARK DESIGNATION. FIELD CUTS AND/OR HOLES SHALL BE TREATED IN FIELD.
- FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON, BRONZE OR COPPER. EXCEPTION: ONE-HALF INCH (12.7MM) DIAMETER OR GREATER STEEL BOLTS.

FASTENERS FOR USE WITH "PRESERVE" AND "PRESERVE PLUS" TREATED WOOD INCLUDE: HOT-DIP GALVANIZED, STAINLESS STEEL, AND OTHER FASTENERS AND HARDWARE AS RECOMMENDED BY THE HARDWARE MANUFACTURER. AS A MINIMUM REQUIREMENT FOR USE WITH TREATED WOOD, HOT DIP GALVANIZED COATED FASTENERS SHOULD CONFORM TO ASTM STANDAR A153 AND HOT DIP GALVANIZED COATED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). FOR OPTIMUM PERFORMANCE AND LONGEVITY IN TREATED WOOD, FASTENERS AND CONNECTORS FABRICATED FROM STAINLESS STEEL SHOULD BE CONSIDERED. OTHER TYPES OF SCREWS AND CONNECTORS COATED WITH PROPRIETARY ANTI-CORROSION TECHNOLOGIES ARE ALSO AVAILABLE FOR USE WITH TREATED WOOD. CONSULT INDIVIDUAL FASTENER MANUFACTURER'S RECOMMENDATIONS FOR INFORMATION ABOUT THE PERFORMANCE OF THEIR PRODUCTS WITH TREATED WOOD. ELECTROPLATED GALVANIZED FASTENERS ARE NOT NORMALLY RECOGNIZED AS BEING RESISTANT FOR EXTERIOR APPLICATIONS. ALUMINUM SHOULD NOT BE USED IN DIRECT CONTACT WITH CCA OR ACQ TREATED LUMBER.
- APPROVED HURRICANE STRAPS OR CLIPS SHALL BE INSTALLED AT ALL BEARING POINTS OF RAFTERS.
- SILL PLATES ARE TO BE OF TREATED TIMBER PER STANDARD BUILDING CODE.

- INSTALL BRIDGING IN ALL CONVENTIONALLY FRAMED ROOF JOISTS AT 8'-0" O.C. MAXIMUM.
- CONNECT WOOD SHEATHING TO ROOF FRAMING WITH 8d NAILS SPACED AT 6" O.C. ALONG ALL PANEL EDGES, 8d NAILS SPACED AT 6" O.C. WITHIN 6'-0" OF ALL EAVES AND 8d NAILS SPACED AT 12" O.C. AT ALL OTHER LOCATIONS. SHEATHING SHALL BE 1/2" OSB.

LOADING

WIND LOAD PER FLORIDA BUILDING CODE
WIND VELOCITY = SEE COVER
ROOF LIVE LOAD - SLOPES UP TO 4:12 = 20 PSF
ROOF LIVE LOAD - SLOPES OVER 4:12 = 16 PSF
FLOOR LIVE LOAD = 40 PSF

TERMITE PROTECTION NOTES:

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PUT ALL PERMITS AND TERMITE CERTIFICATION. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE HEATER OR ELECTRIC PANEL (FBC SECTION 104.2.6).
- CONENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS (FBC SECTION 1503.4.4).
- IRRIGATION / SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING WALLS (FBC SECTION 1503.4.4).
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES. EXCEPTION: PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL (FBC 1403.1.6).
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILLS IS COMPLETED (FBC 1816.1.1).
- SOIL DISTURBED AFTER INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED (FBC SECTION 1816.1.2).
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT (FBC SECTION 1816.1.3).
- MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RE-TREATMENT IS REQUIRED (FBC SECTION 1816.1.4).
- CONCRETE OVERPOUR AND MOTOR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT (FBC SECTION 1816.1.5).
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDE WALLS (FBC SECTION 1816.1.6).
- AN EXTERIOR VERTICAL ELEMENT BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED (FBC SECTION 1816.1.6).
- ALL BUILDING ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT (FBC SECTION 1816.1.7).
- A CERTIFICATION OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES" (FBC SECTION 1816.1.7).
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STATES, TUB TRAP BOXES, FORMS, SHORING, OR OTHER CELLULOSE CONTAINING MATERIAL (FBC SECTION 2303.1.3).
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC. SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING (FBC SECTION 2303.1.4).

PROFESSIONAL STATEMENT: TO THE BEST OF HIS ARCHITECTS KNOWLEDGE, ENGINEERS PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE REGULATIONS AND SPECIFICATIONS GOVERNING PROFESSIONAL PRACTICE.

REVISIONS

NO	DATE	DESCRIPTION
Δ		

CONSULTANT

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

STATE OF FLORIDA
DENNIS G. LANG
#RL100758
08/31/2020
REGISTERED ARCHITECT

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT

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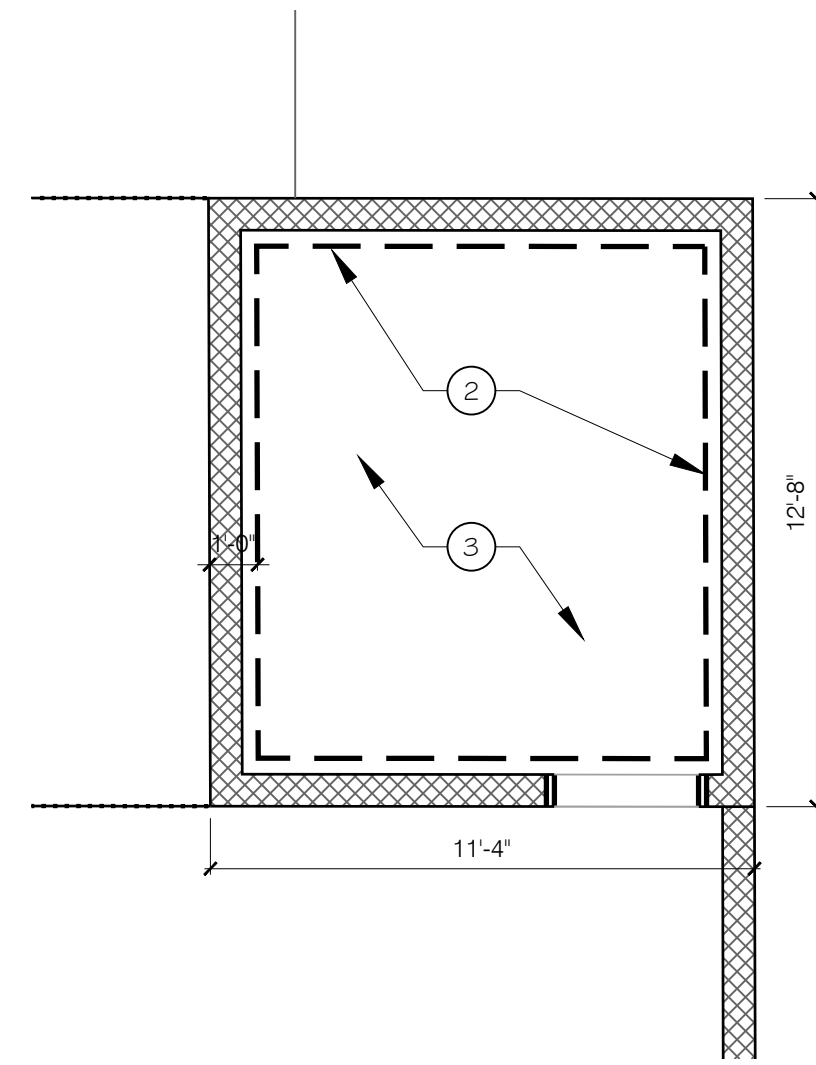
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DATE: 8-31-20
PROJECT #: 1905
SHEET: S0.0

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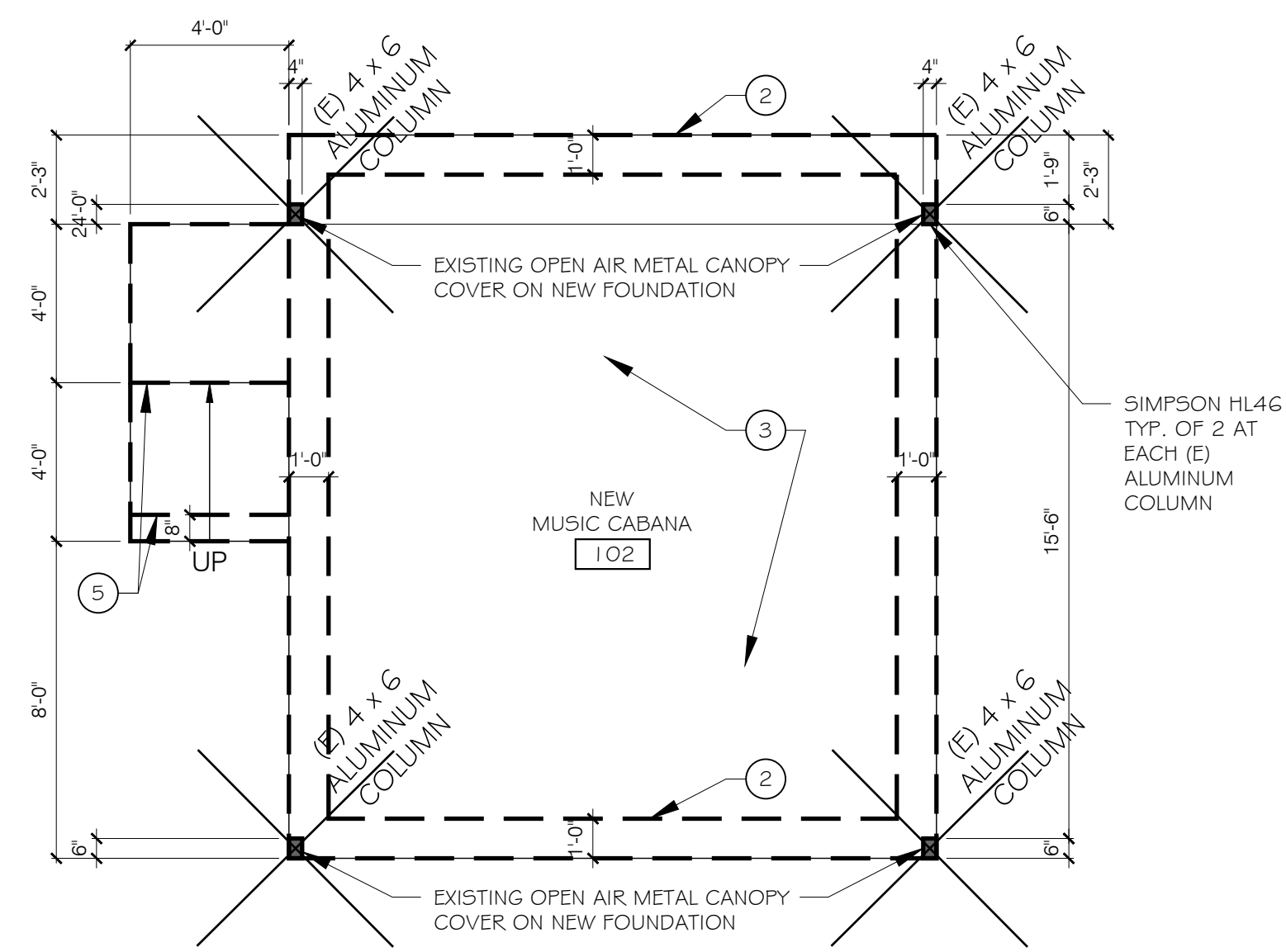
- 4 x 6 ALUMINUM COLUMN TO FOUNDATION - SIMPSON HL46
- 12 x 12 WOOD COLUMN TO FOUNDATION - SIMPSON CB1212
- 4 x 4 WOOD COLUMN TO CMU - SIMPSON CB44
- 4 x 12 WOOD BEAM TO CMU - SIMPSON MBH3.56
- 4 x 12 WOOD BEAM TO 4 x 4 WOOD COLUMN - SIMPSON ECCL
- 4 x 12 WOOD BEAM TO 12 x 12 WOOD COLUMN - SIMPSON ECCL # ECCU
- 2 x 10 RAFTER STRAP - SIMPSON MSTAM24
- TRUSS STRAP - SIMPSON MSTAM24 # HTS24
- HIP CONNECTOR - SIMPSON HRC22

FOUNDATION KEYED NOTES:

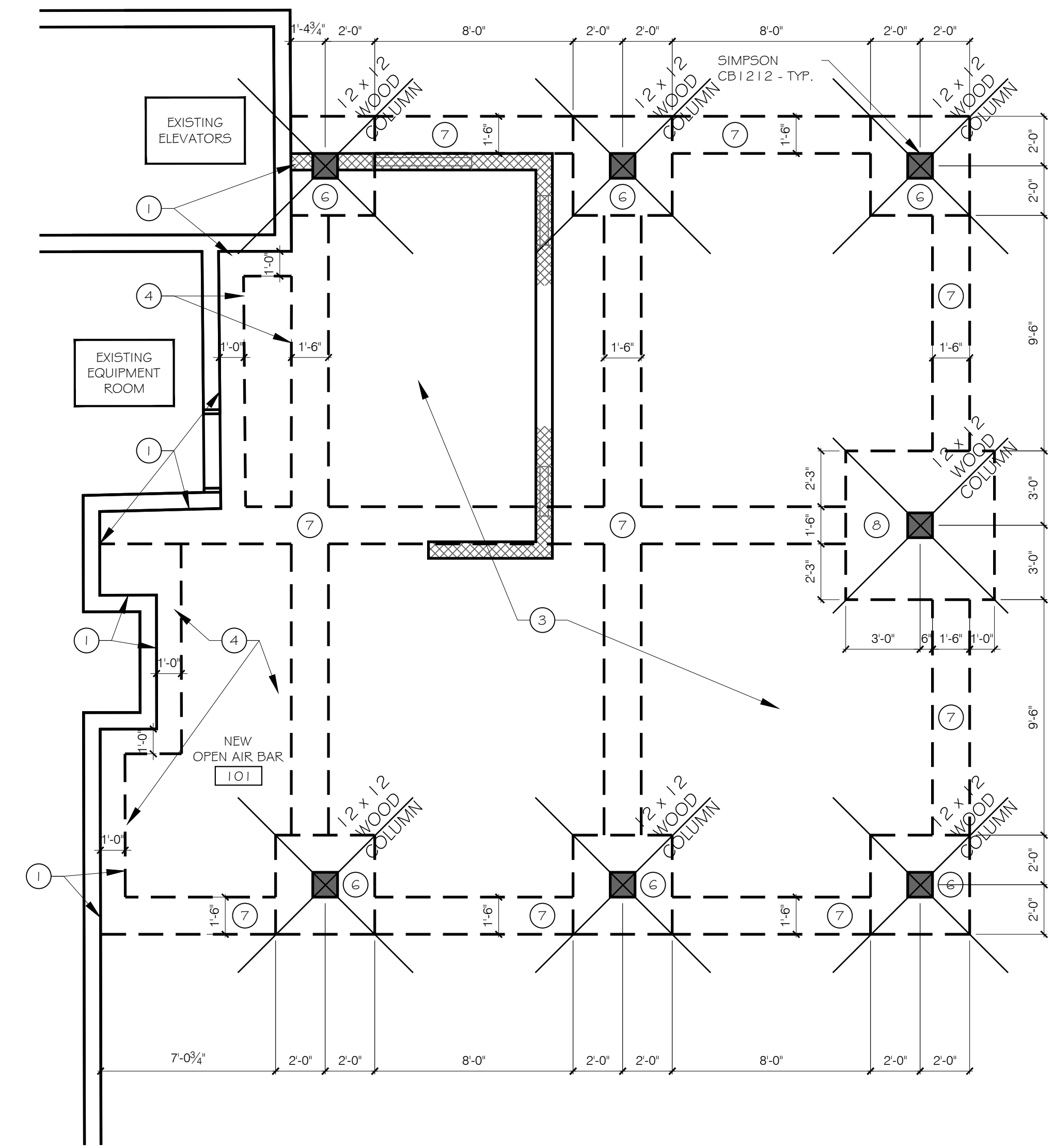
1. DOWEL OR TAPCON & EPOXY AT 12" O.C., HORIZONTALLY & VERTICALLY, NEW STRUCTURE TO EXISTING STRUCTURE AT WALL & FOUNDATION CONNECTIONS.
2. 4" THICK, 3,000# PSI CONCRETE SLAB WITH FIBERMESH # 2 - #5 REBAR IN A THICKENED EDGE OVER 95% COMPACTED, TERMITES TREATED EARTH & 6 MIL POLYETHYLENE VAPOR BARRIER.
3. GC TO COORDINATE FOUNDATIONS WITH UNDERGROUND INFRASTRUCTURE UTILITIES & SLEEVE AS REQUIRED.
4. 4" THICK, 3,000# PSI CONCRETE SLAB WITH FIBERMESH # 1 - #5 REBAR IN A THICKENED EDGE OVER 95% COMPACTED, TERMITES TREATED EARTH & 6 MIL POLYETHYLENE VAPOR BARRIER.
5. (RAMP & LANDING) 12' x 12', 3,000# PSI CONCRETE RAMP FOOTING WITH 2 - #5 REBAR AT BOTTOM & 1 - #5 REBAR AT RAMP NOSE, 3,000# PSI CONCRETE LANDING WITH FIBERMESH # 1 - #5 REBAR AT BOTTOM.
6. (4 x 4 FOUNDATION) 4'-0" x 4'-0", 3,000# PSI CONCRETE FOOTING WITH 2 LAYERS OF #5 REBAR @ 12" O.C., EACH WAY, TOP TO BOTTOM - TOP MAT AT 12" & BOTTOM MAT AT 3' MIN.
7. (GRADE BEAMS) 1'-6" x 2'-0", 3,000# PSI CONTINUOUS CONCRETE FOOTING WITH 2 - #5 REBAR CONTINUOUS AT MIN. 3' FROM BOTTOM.
8. (6 x 6 FOUNDATION) 6'-0" x 6'-0" x 3'-0", 3,000# PSI CONCRETE FOOTING WITH 2 LAYERS OF #5 REBAR @ 12" O.C., EACH WAY, TOP TO BOTTOM - TOP MAT AT 12" & BOTTOM MAT AT 3' MIN.



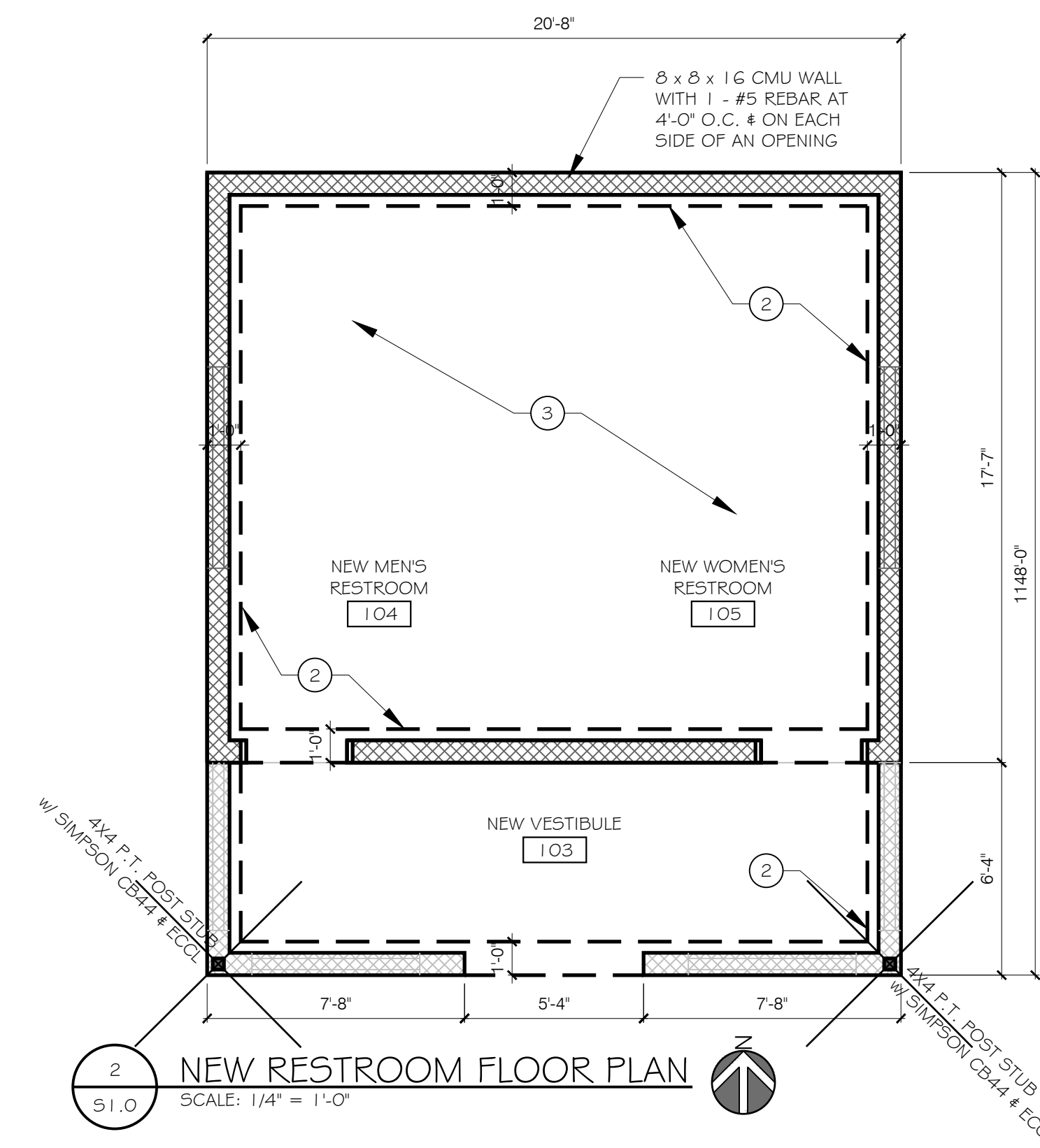
3 POOL / UTILITY ROOM
SCALE: 1/4" = 1'-0"



4 NEW MUSIC CABANA PLAN
SCALE: 1/4" = 1'-0"



1 NEW BAR FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 NEW RESTROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED BY THE JURISDICTION.

REVISIONS

NO.	DATE	DESCRIPTION
Δ		

CONSULTANT

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

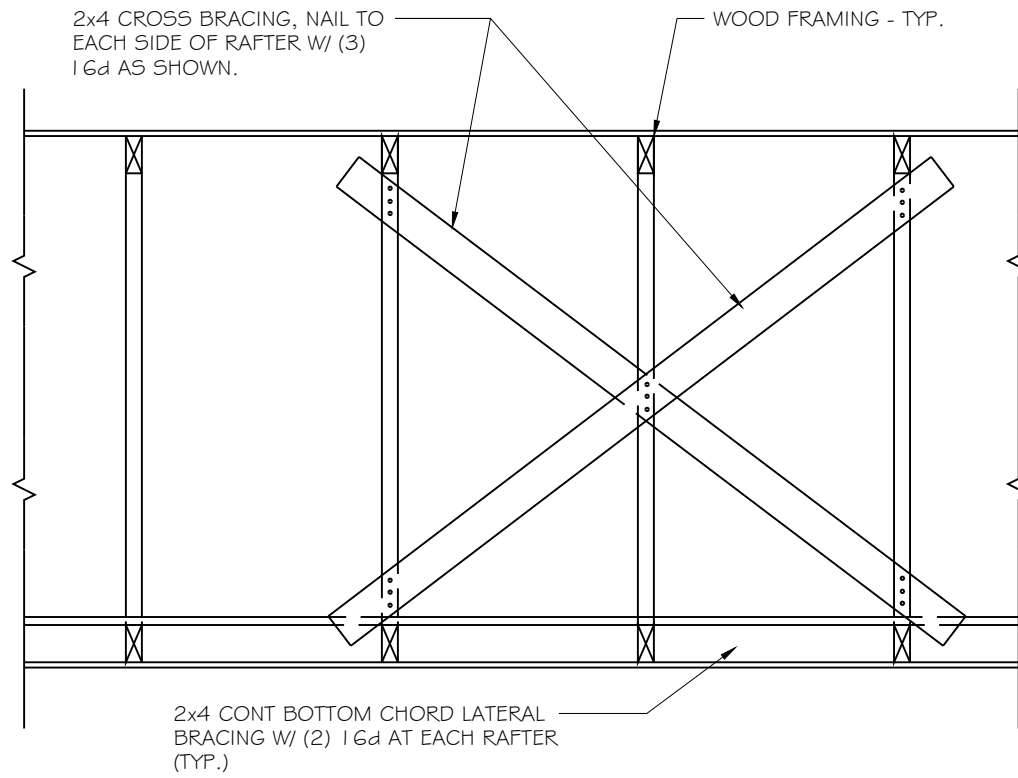
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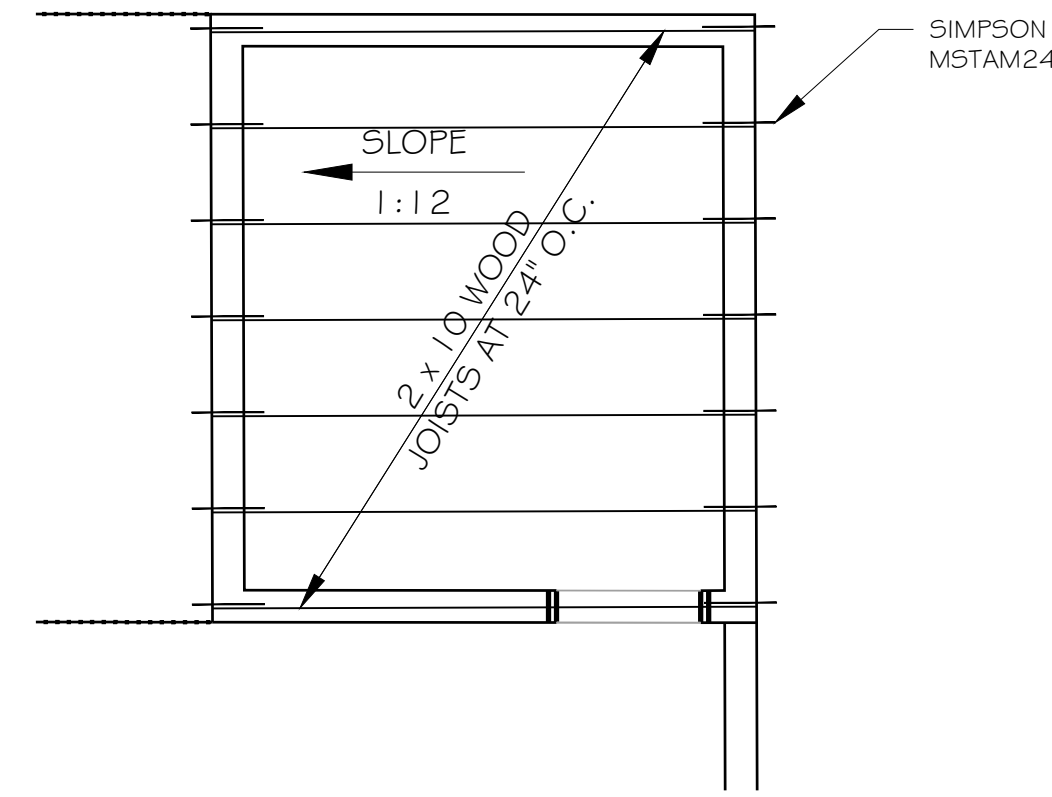
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JENNIS G. LANG
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08/31/2020
REGISTERED ARCHITECT

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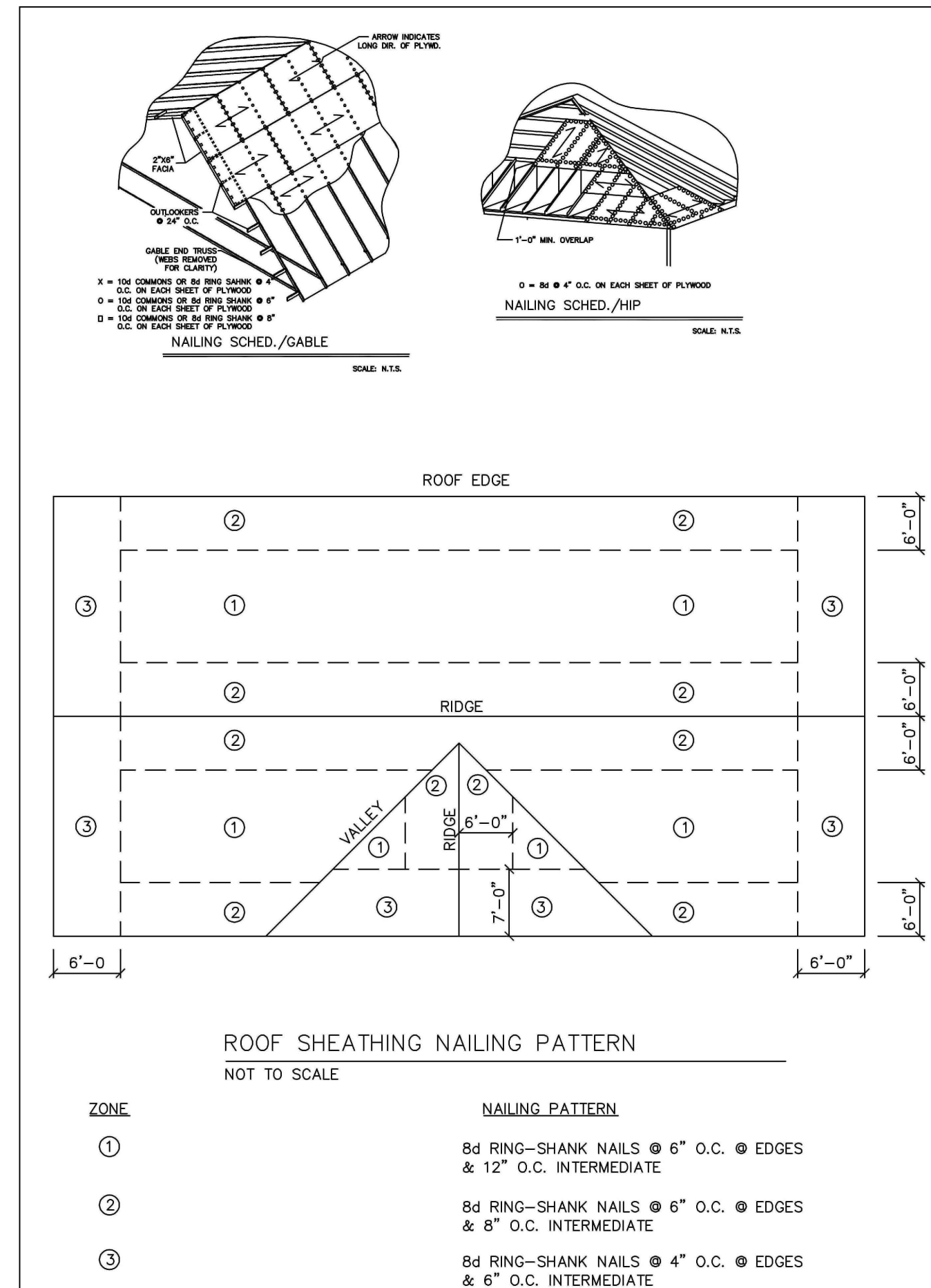
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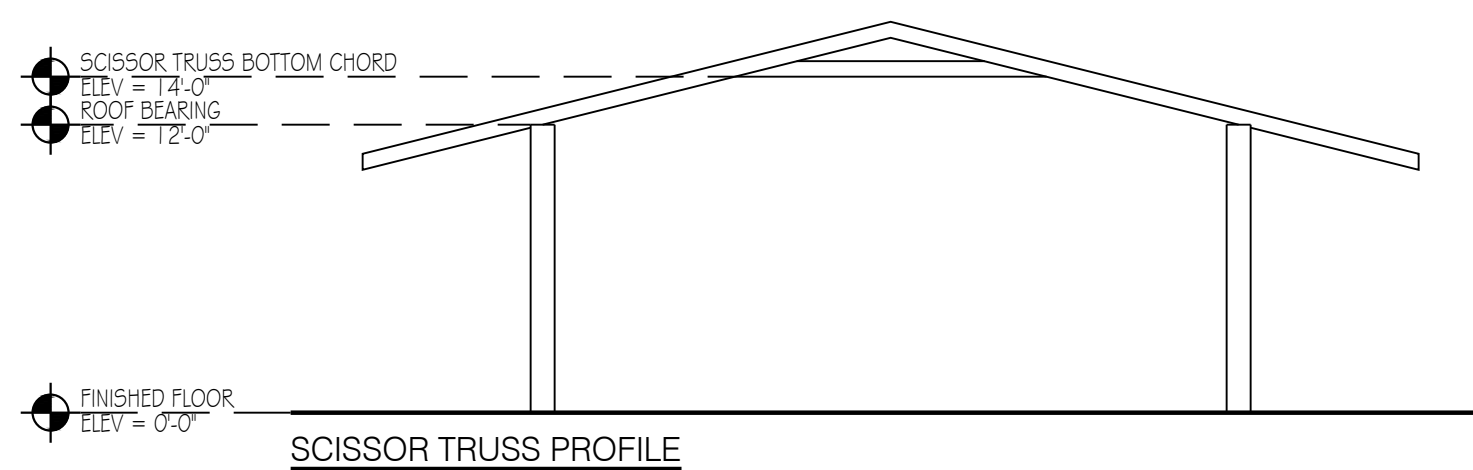
5 TYPICAL CROSS BRACING DETAIL
SCALE: NTS



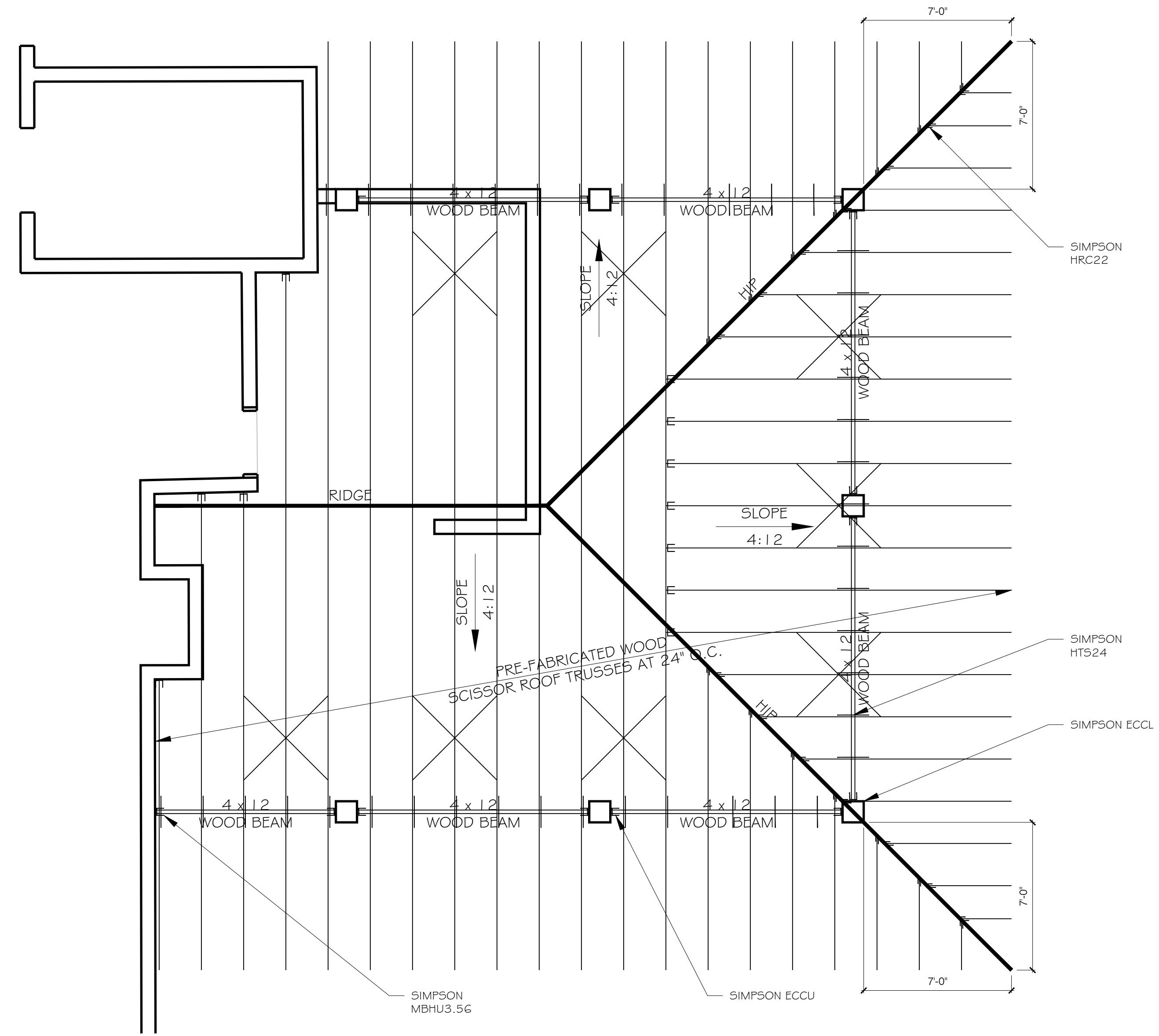
3 POOL / UTILITY ROOM
SCALE: 1/4" = 1'-0"



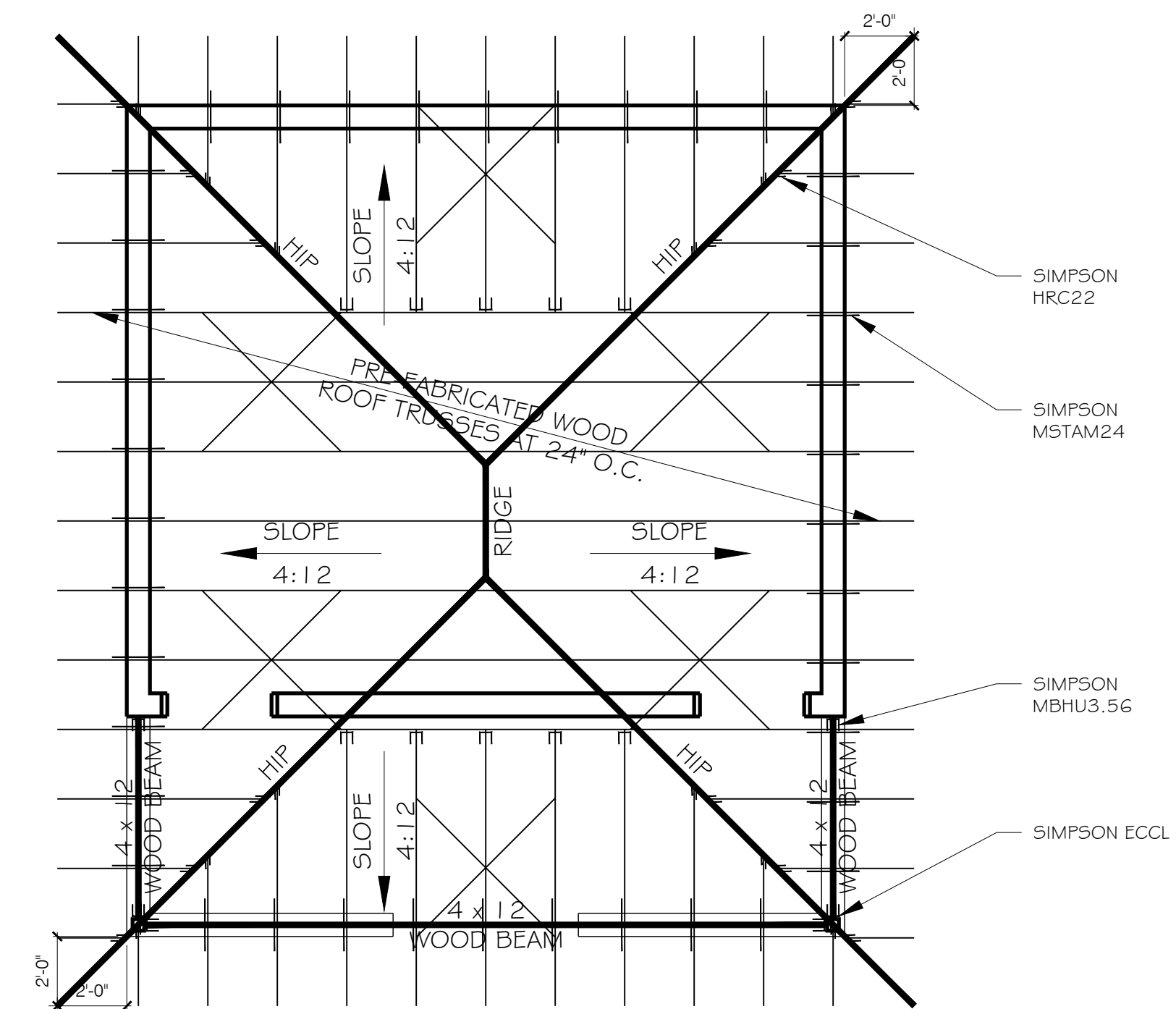
4 TYPICAL ROOF SHEATHING NAILING
SCALE: NTS



6 TYPICAL SCISSOR TRUSS PROFILE
SCALE: NTS



1 NEW BAR ROOF PLAN
SCALE: 1/4" = 1'-0"



2 NEW RESTROOM ROOF PLAN
SCALE: 1/4" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED BY THE JURISDICTION.

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EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

NEW STRUCTURAL ROOF FRAMING PLANS

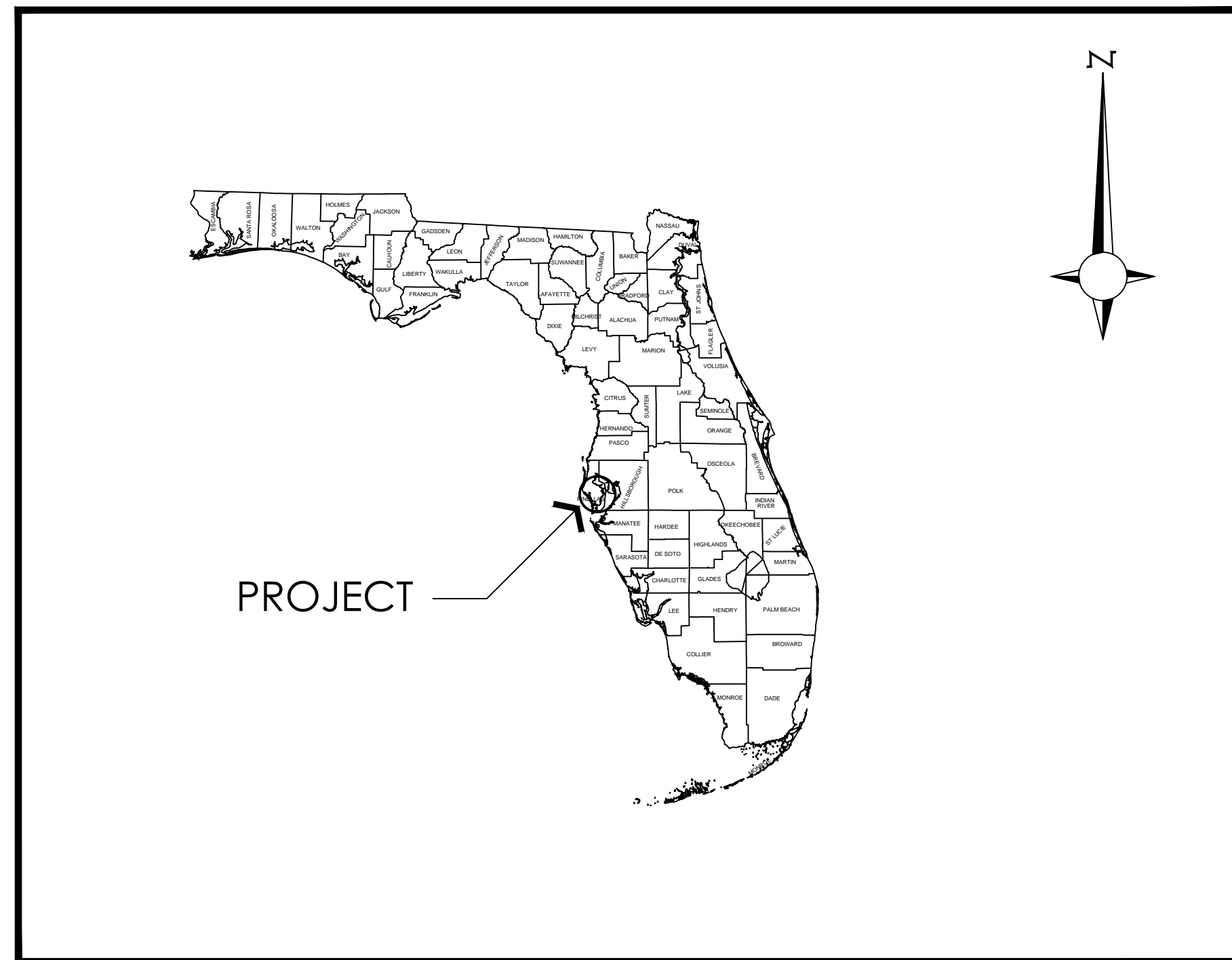
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DENNIS G. LANG
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REGISTERED ARCHITECT
#1100758
08/31/2020

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DATE: 8-31-20
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PRELIMINARY / CONSTRUCTION PLANS
FOR
EXTERIOR POOL & BAR ADDITION

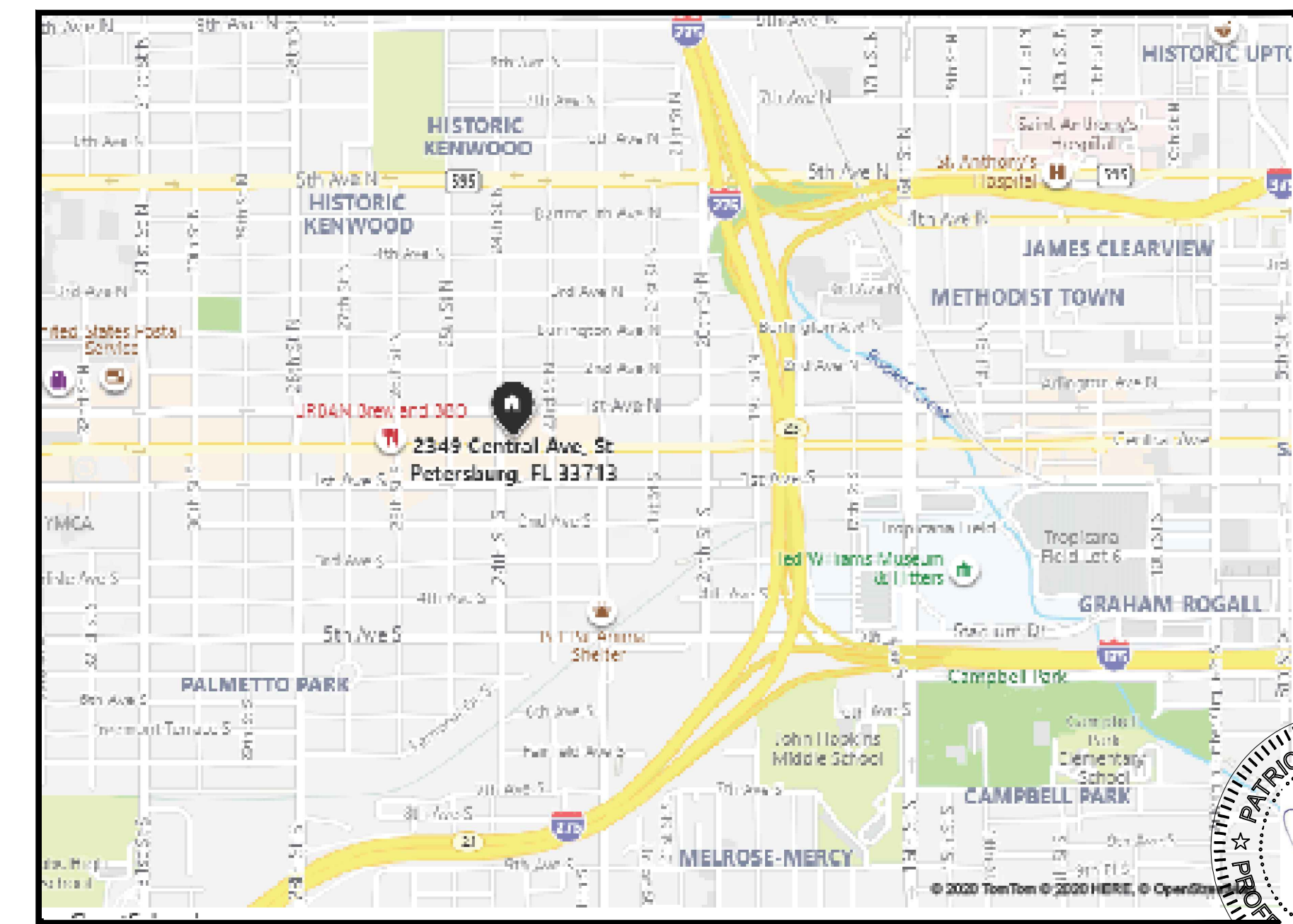
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ST. PETERSBURG, FLORIDA 33713
PARCEL ID NO. 23-31-16-78390-020-0080



VICINITY MAP

INDEX OF SHEETS

-	COVER SHEET
C-1	CIVIL SITE PLAN
C-2	DETAILS
C-3	DETAILS



LOCATION MAP

"INVESTIGATE BEFORE YOU EXCAVATE"



CALL SUNSHINE @ 1-800-432-4770
FL. STATUTE 553.851 (1979) REQUIRES A
MIN. OF 2 DAYS AND MAX. OF 5
DAYS NOTICE BEFORE YOU EXCAVATE.

LEGAL DESCRIPTION:
LOTS 8, 9, 10, 11 AND 12, BLOCK 20, ST. PETERSBURG INVESTMENT CO. SUBDIVISION,
ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 16, OF
THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD INFORMATION
THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, IN ACCORDANCE WITH THE
FIRM MAP OF THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, COMMUNITY NUMBER 125148
(MAP NUMBER 12103C-0218-G), MAP DATED SEPTEMBER 3, 2003.

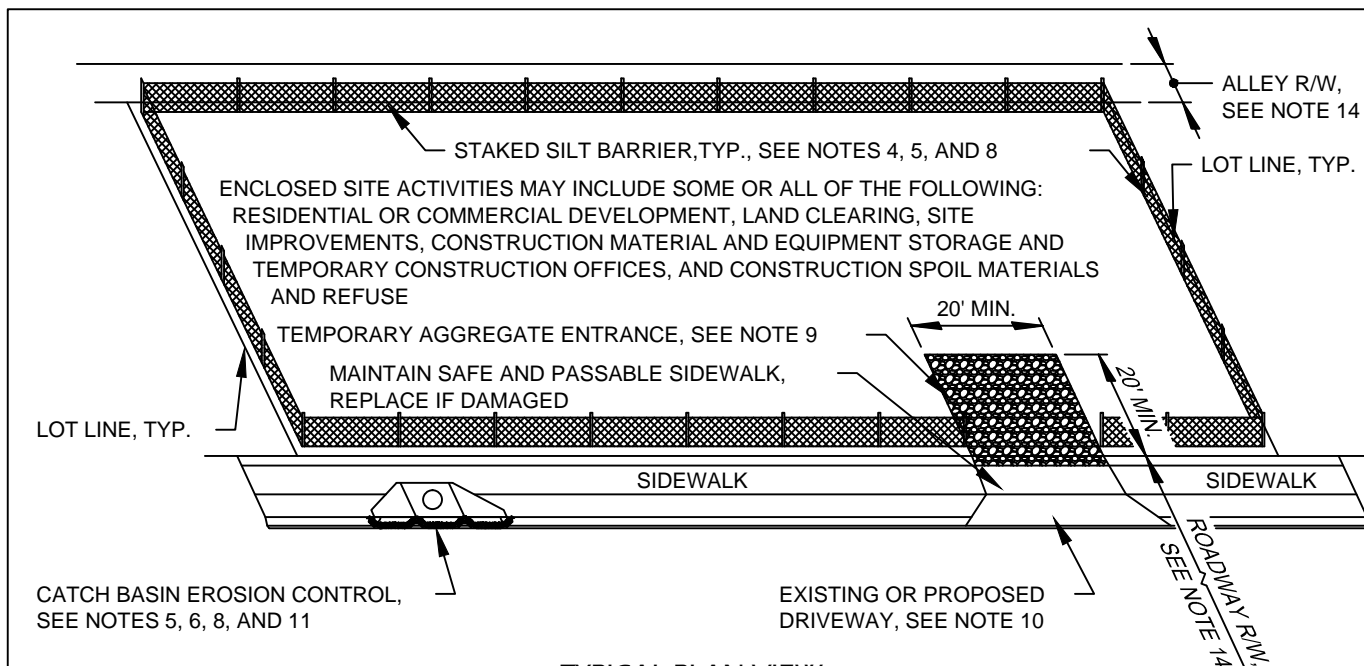


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PATRICIA P. MONTECKI, P.E. ON AUGUST 3, 2020 USING A DIGITAL
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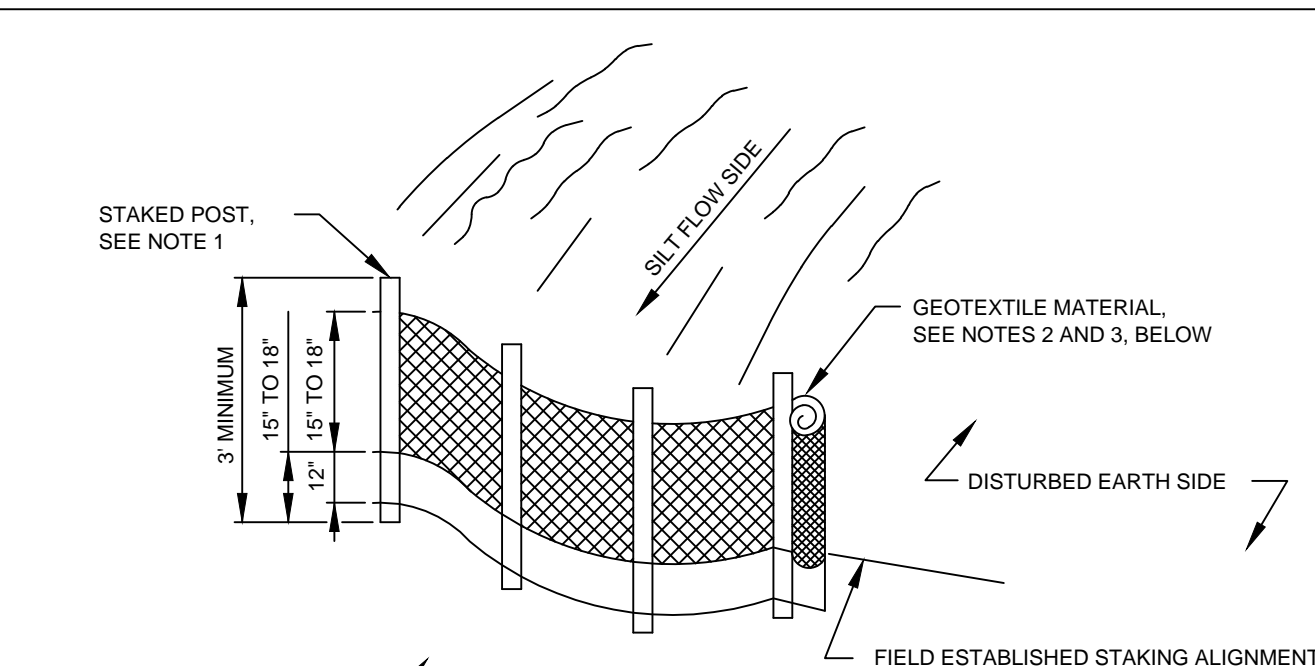


NO.	REVISIONS	DATE
<p>EXTERIOR POOL & BAR ADDITION 2349 CENTRAL AVENUE, ST PETERSBURG, FL 33713</p>		
<p>COVER SHEET</p>		
<p>LANG + FERFOLLIA ARCHITECTURE DEVELOPMENT</p>		
DRAWN BY:	CVO	
DATE:	7-14-20	
PROJECT #:	1915	
SHEET:	C-0	

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- NOTES:**
- NON-COMFORMANCE WITH THE ITEMS LISTED OR SHOWN ON THIS DETAIL MAY RESULT IN A "STOP WORK" ORDER.
 - THE PURPOSE OF THIS DETAIL IS TO ASSIST THE DEVELOPER, BUILDER, AND/OR CONTRACTOR TO MEET THE MINIMUM REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ISSUED TO THE CITY OF ST. PETERSBURG.
 - THIS DETAIL IS APPLICABLE FOR ALL CONSTRUCTION SITES AS DESCRIBED ABOVE OF LESS THAN ONE (1) ACRE. THOSE SITES GREATER THAN ONE (1) ACRE ALSO MUST OBTAIN COVERAGE UNDER AN NPDES STORM WATER PERMIT.
 - THE SILT BARRIER SHALL BE INSTALLED ONE FOOT INSIDE THE PROPERTY LINE OR TWO FEET FROM THE SIDEWALK AS SHOWN ABOVE. FOR SILT BARRIER REQUIREMENTS AND INSTALLATION REQUIREMENTS, SEE STANDARD DETAIL-STAKED SILT BARRIER, DRAWING NO. S40-92.
 - INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES DAILY AND/OR AFTER A RAINFALL.
 - FOR CURB INLET FILTER REQUIREMENTS, SEE STANDARD DETAIL-CURB INLET FILTER FOR EROSION CONTROL AT CATCH BASIN, DWG. NO. S40-93, OR FOR HAY BALE REQUIREMENTS, SEE STANDARD DETAIL-HAY BALES FOR EROSION CONTROL AT CATCH BASIN, DWG. NO. S40-94.
 - EXISTING GRASS VEGETATION SHALL BE MAINTAINED AT A 10" INCH HEIGHT OR LESS, AS PER CITY CODE, CHAPTER 16, SECTIONS 16-1070 THRU 1076.
 - ALL SOIL EROSION CONTROL DEVICES MUST REMAIN IN PLACE UNTIL NEW VEGETATION IS ESTABLISHED. ALL DISTURBED AREAS SHALL BE SOODED AFTER FINAL GRADING.
 - TEMPORARY AGGREGATE ENTRANCE SHALL BE A MINIMUM 6" THICK OF STANDARD GRADATION SIZE #1 OR #2 RANGE AS PER FOOT SECTION 901, AND SHALL BE COMPACTED. AGGREGATE SHALL BE QUARTZ OR CRUSHED GRANITE. LIMEROCK, DOLOMITE OR SANDSTONE SHALL NOT BE ACCEPTABLE.
 - IF THERE IS NO EXISTING DRIVEWAY OR AN ALTERNATE INGRESS/EGRESS IS TO BE USED DURING CONSTRUCTION, THE METHOD OF ACCESS SHALL CONFORM TO THE "TEMPORARY AGGREGATE ENTRANCE" AS DESCRIBED ABOVE. IF THE AGGREGATE IS DEEMED UNSAFE, THE ALTERNATE INGRESS/EGRESS SHALL BE CONSTRUCTED OF 1" ASPHALTIC CONCRETE OVER 6" OF COMPACTED LIMEROCK BASE.
 - REGULARLY REMOVE COLLECTED SEDIMENT AND DEBRIS FROM THE SILT BARRIERS AND GUTTER FLOW LINE.
 - FOR ALL SAND AND SOIL STOCKPILES DUSTER/EROSION CONTROL MEASURES SHALL BE IMPLEMENTED.
 - KEEP CONSTRUCTION SITE LITTER/DEBRIS, AND LEAKING CONTAINERS IN ORDERLY CONTAINMENT AREAS.
 - SWEEP ENTRANCE AND ADJACENT ROADWAY WEEKLY TO KEEP FREE OF CONSTRUCTION DEBRIS.
 - SWEEP PAVED SURFACES ONLY. DO NOT WASH DOWN UNTIL SITE IS FINISHED.
 - SINGLE FAMILY INFLU LOTS MAY REQUIRE SILT FENCE AS ORDERED OR DIRECTED BY THE CITY BUILDING OFFICIAL.



- NOTES:**
- POST: 2"x2" WOOD, P.T. OR 2-1/2"x2" STEEL AT 6' CENTERS, MAXIMUM.
 - GEOTEXTILE: GRAB TENSILE AT 90 LBS, TRAPEZOIDAL TEAR AT 35 LBS, MULLEN BURST AT 180 PSI.
 - GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
 - ALSO SEE FOOT INLET 199, "GEOTEXTILE CRITERIA", EROSION CLASS.
 - OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2.

CITY STANDARDS

REVISIONS

BY	DATE
SWB	12/04
SWB	03/06
SWB	09/06

ENGINEERING, STORMWATER, & TRAFFIC OPERATIONS
CITY OF ST. PETERSBURG

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: SEPT. 2004
DWG. No. S10-60

SCALE: N.T.S.

CITY STANDARDS

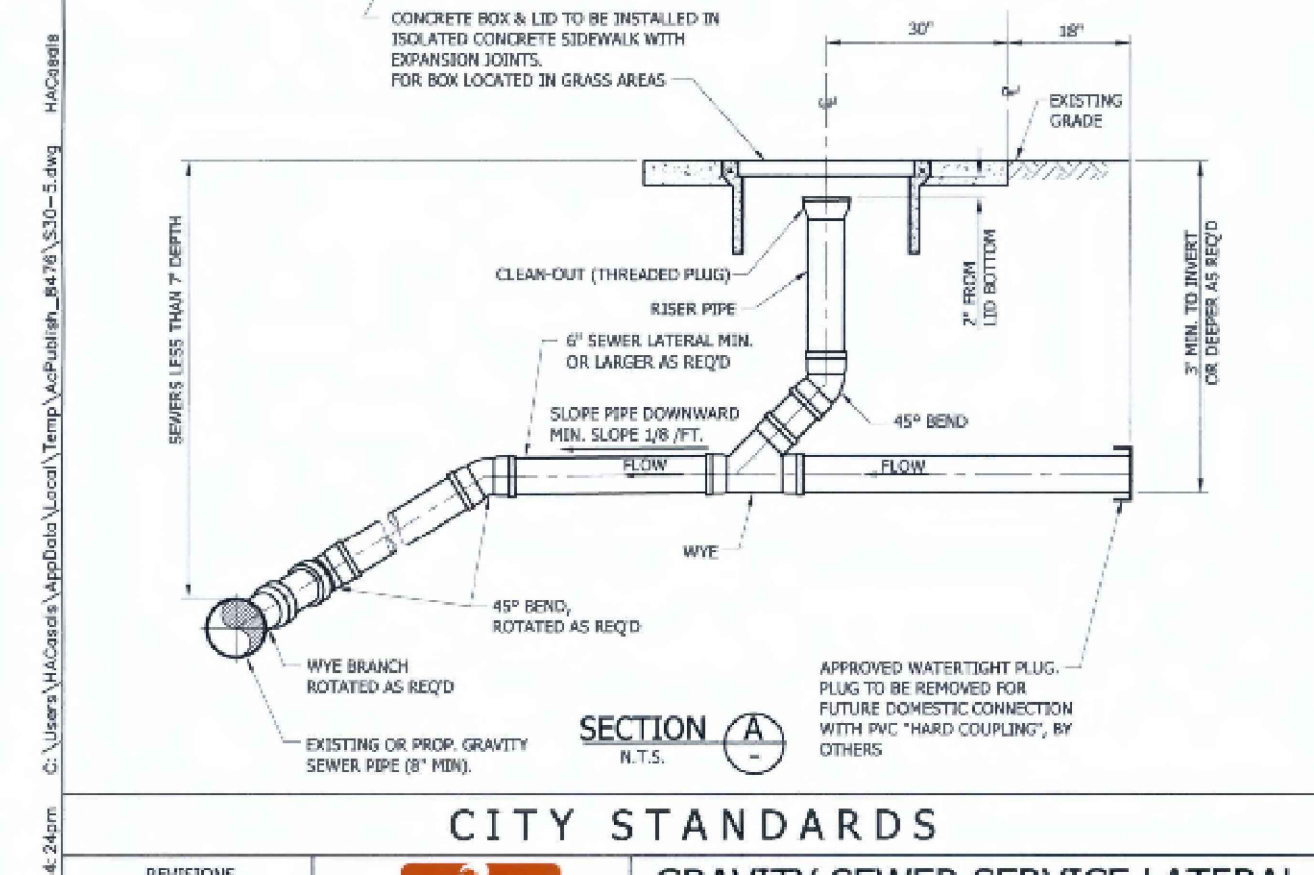
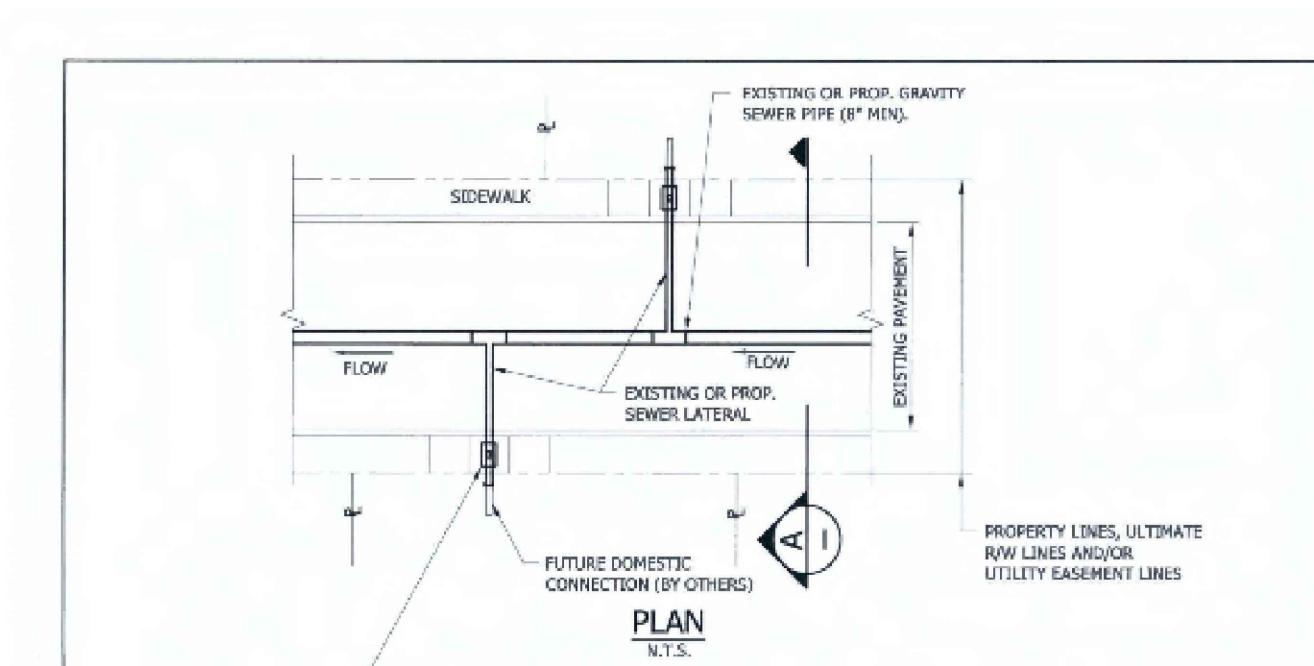
REVISIONS

BY	DATE
SWB	06/01
SWB	06/02

ENGINEERING, STORMWATER, & TRAFFIC OPERATIONS
CITY OF ST. PETERSBURG

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: SEPT. 2000
DWG. No. S40-92

SCALE: N.T.S.

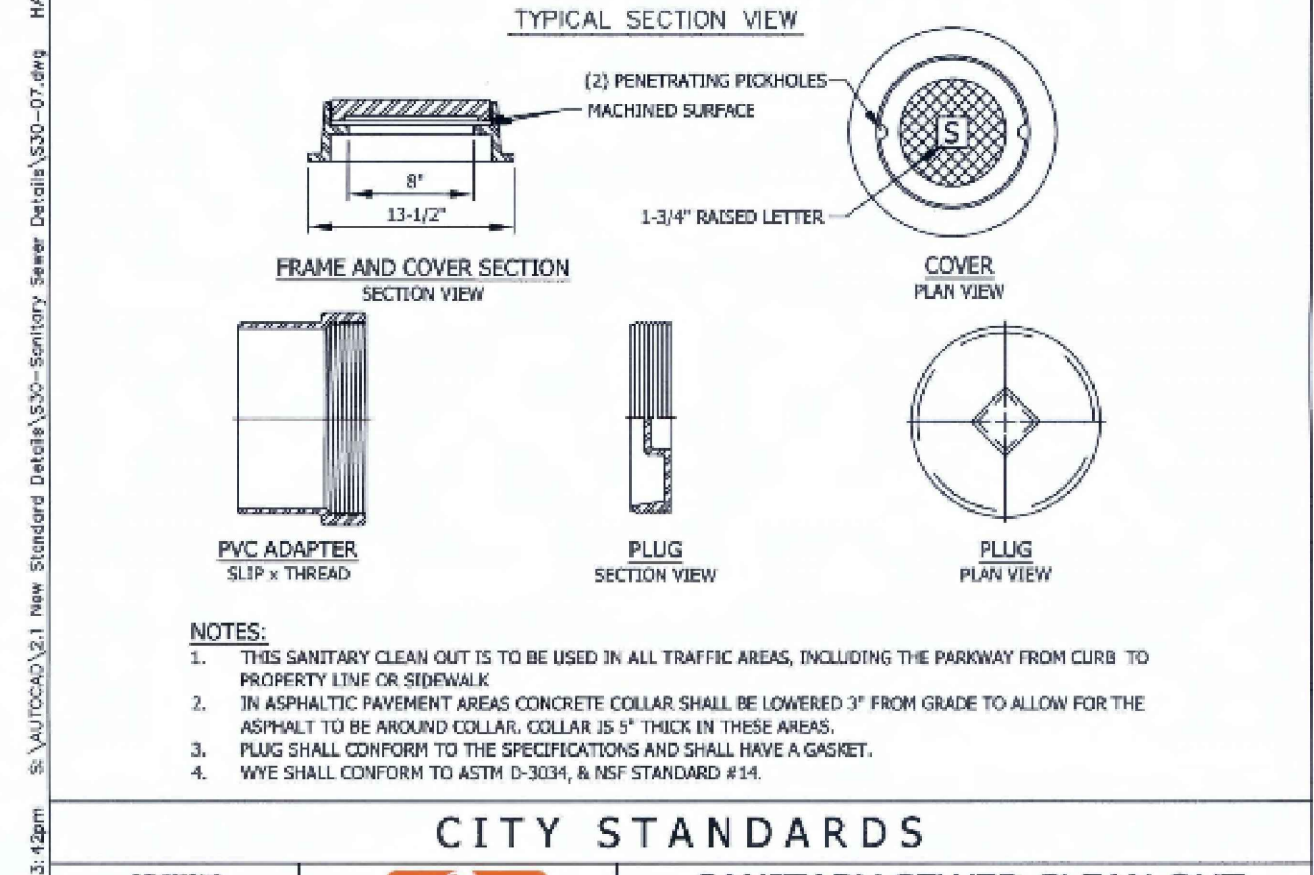
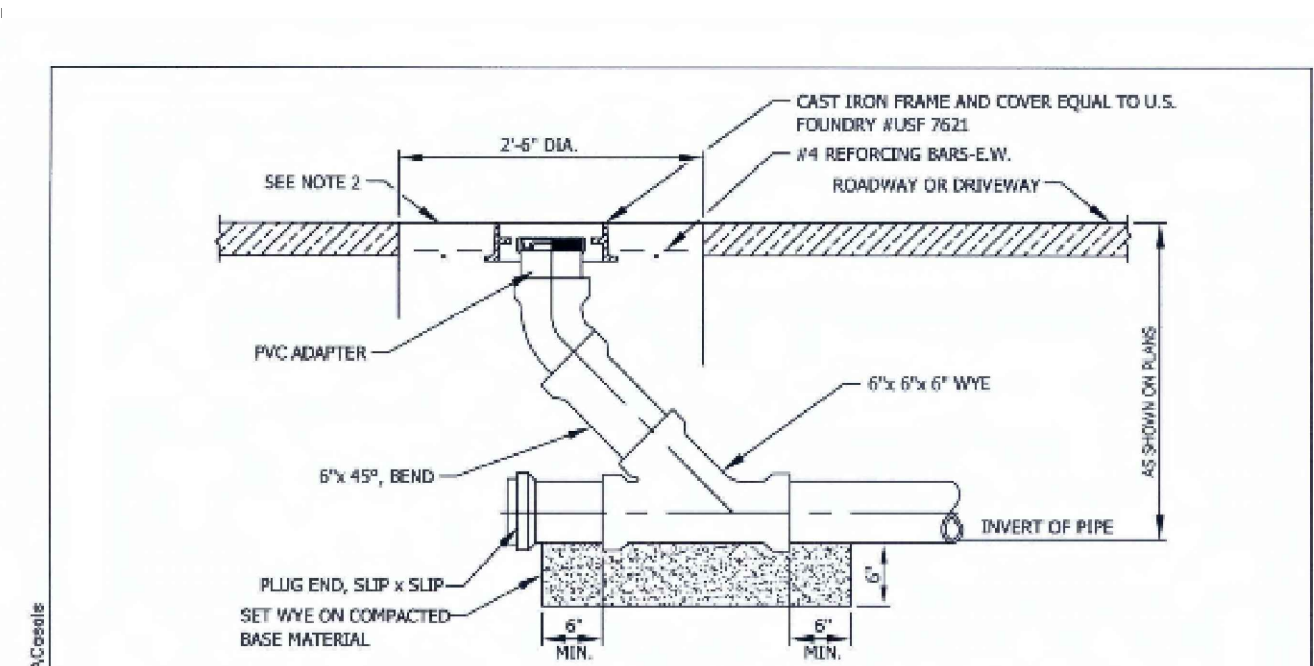


CITY STANDARDS

GRAVITY SEWER SERVICE LATERAL FOR "SHALLOW" SEWERS

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S30-5

SCALE: N.T.S.

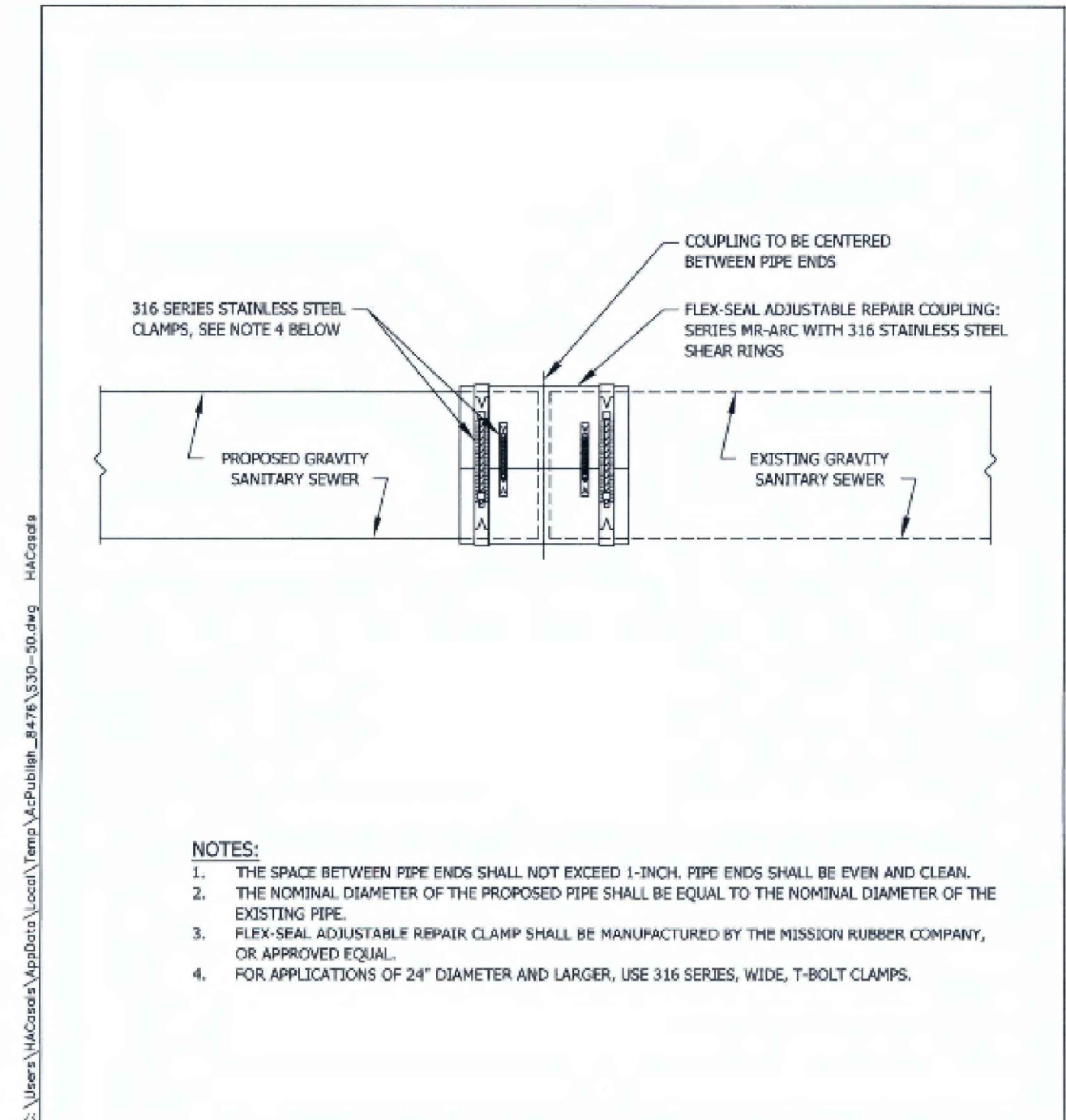
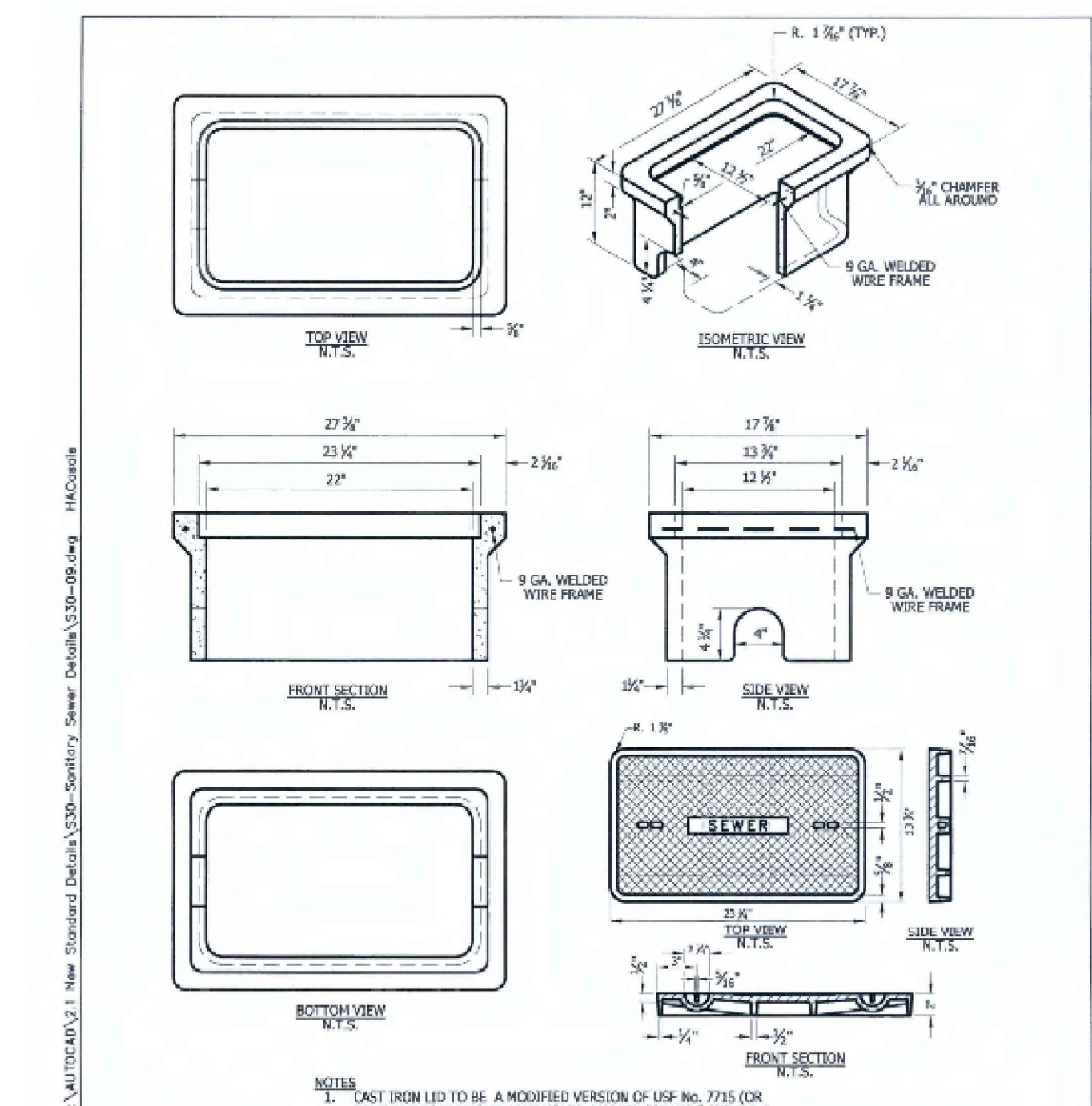


CITY STANDARDS

SANITARY SEWER CLEAN OUT FOR TRAFFIC AREAS DETAIL

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S30-7

SCALE: N.T.S.



CITY STANDARDS

DISSIMILAR PIPE COUPLING DETAIL

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S30-50

SCALE: N.T.S.

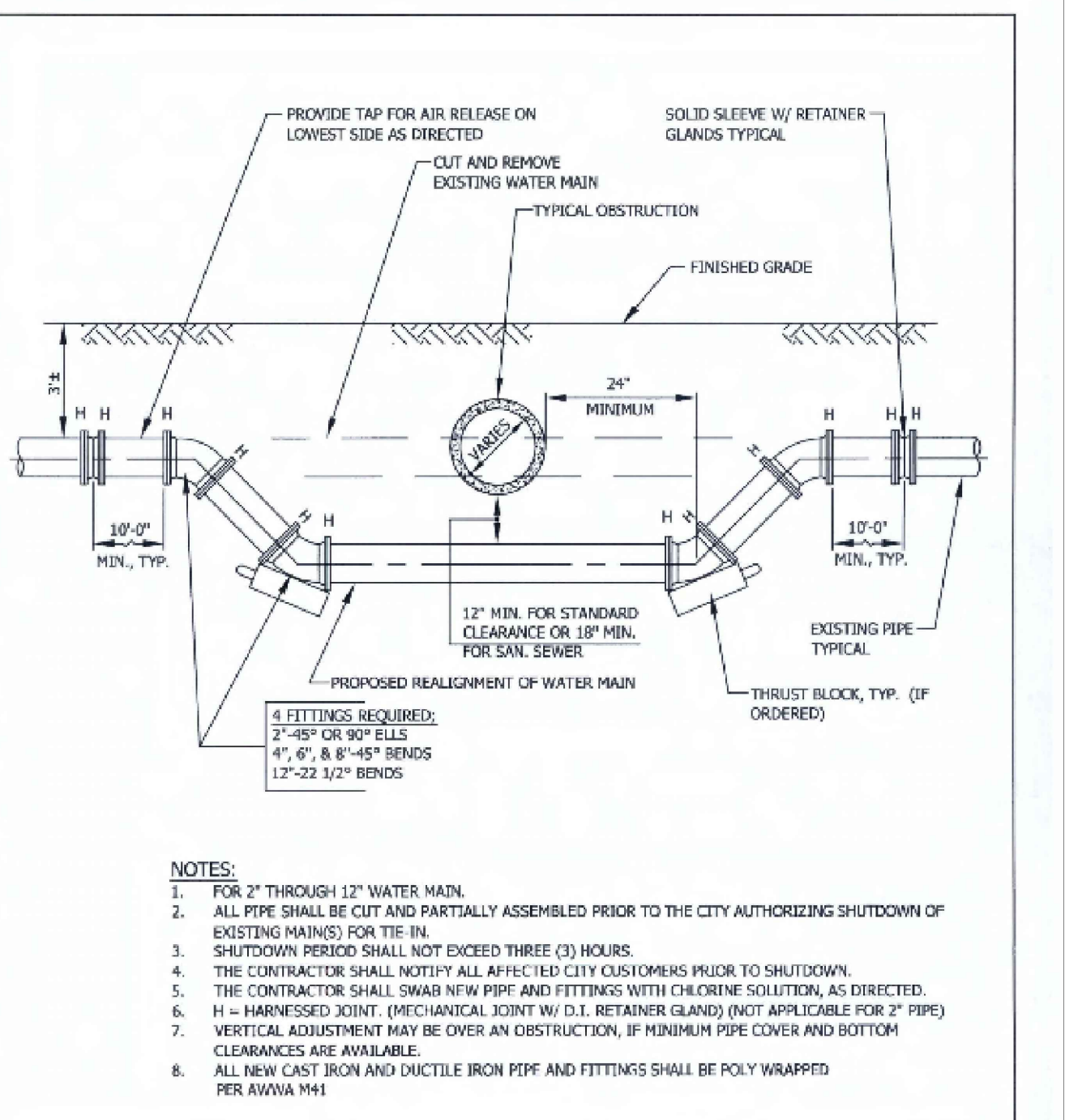
- NOTES FOR PRESSURE PIPE**
- ALL PRESSURE PIPE MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AS SHOWN HEREIN, OR AS DIRECTED BY THE ENGINEER.
 - PIPE JOINT DEFLECTION SHALL NOT EXCEED 25% OF THE PIPE MANUFACTURE REQUIREMENTS.
 - THE CONTRACTOR SHALL ADJUST PIPELINE ALIGNMENTS HORIZONTALLY AND/OR VERTICALLY AS REQUIRED TO AVOID CONFLICTS WITH ACTUAL FIELD CONDITIONS AS UNCOVERED DURING CONSTRUCTION. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.
 - PRESSURE PIPE CLEARANCES SHALL BE AS FOLLOWS:
 - POTABLE WATER MAINS IN PARALLEL INSTALLATIONS SHALL MAINTAIN A MINIMUM 10 FEET OUTSIDE TO OUTSIDE HORIZONTAL CLEARANCE FROM ALL SANITARY SEWERS, STORM DRAINS, AND FORCE MAINS.
 - POTABLE WATER MAINS WHERE CROSSING SHALL MAINTAIN A MINIMUM OF 18 INCHES OUTSIDE TO OUTSIDE VERTICAL CLEARANCE FROM ALL SANITARY SEWERS, STORM DRAINS, AND FORCE MAINS.
 - POTABLE WATER MAINS SHALL MAINTAIN A MINIMUM OF 5 FOOT CENTER TO CENTER HORIZONTAL CLEARANCE OR 3 FOOT OUTSIDE TO OUTSIDE HORIZONTAL CLEARANCE AND 18 INCHES OUTSIDE TO OUTSIDE VERTICAL CLEARANCE FROM RECLAIMED WATER MAINS.
 - THE CONTRACTOR SHALL PROVIDE ALL DEWATERING EQUIPMENT NECESSARY TO KEEP EXCAVATIONS DRY AND SHALL PROVIDE ALL SHORING, SHEETING, AND BRACING NECESSARY TO PROTECT WORKMEN, ADJACENT STRUCTURES, UTILITIES, EXISTING PAVEMENT, OR TO MINIMIZE TRENCH WIDTH AT NO ADDITIONAL COST TO THE CITY.
 - THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER REGARDING SHUTTING DOWN WATER MAINS. PROPER AND ADEQUATE NOTIFICATION MUST BE MADE TO PROPERTY OWNERS, BUT IN NO CASE SHALL LESS THAN 24 HOURS WRITTEN NOTICE BE GIVEN.
 - THE OPENING AND/OR CLOSING OF EXISTING VALVES OR NEW VALVES INSTALLED IN PRESSURE PIPE SYSTEMS SHALL BE BY CITY WATER RESOURCES STAFF WITH COORDINATION WITH THE ENGINEER.
 - THE CONTRACTOR SHALL PROVIDE NECESSARY EQUIPMENT AND LABOR TO MAKE TAPS IN PRESSURE PIPE MAINS WHERE TAPPING SLEEVES AND VALVES ARE SHOWN ON THE PLANS.
 - ALL NEW DUCTILE IRON PRESSURE PIPE, FITTINGS, AND VALVE BODIES SHALL BE WRAPPED IN POLYETHYLENE IN ACCORDANCE WITH ANSI/AWWA C105.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING POTABLE AND RECLAIMED SERVICE LINES UNDER PAVEMENT OR ELSEWHERE IN THE CONSTRUCTION ZONE. REPLACE SERVICE LINES WHERE SHOWN OR DIRECTED BY THE ENGINEER. ALL RECLAIMED SERVICE LINES SHALL BE LOCATED SO THAT THE REPAIR ASSEMBLY WILL NOT BE IN AN ALLEY, DRIVEWAY, OR OTHER VEHICULAR TRAVEL PATH.
 - ALL EXISTING POTABLE AND/OR RECLAIMED WATER SERVICE LINES SHALL BE TRANSFERRED TO THE NEW MAIN, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - MAINTAIN A MINIMUM COVER OF 36 INCHES UNDER ROADWAYS, ALLEYS, AND DRIVEWAYS. MAINTAIN A MINIMUM OF 30 INCHES OF COVER IN SODDED AND LANDSCAPED AREAS.
 - THRUST BLOCKING SHALL NOT BE USED, UNLESS ORDERED BY THE ENGINEER. HARNESSED PIPE JOINTS SHALL BE USED. THE LENGTH OF HARNESSED JOINTS SHALL BE AS SHOWN ON THE PLANS.
 - SANITARY SEWER FORCE MAINS SHALL NOT BE GREATER THAN 45° BENDS FOR OFFSETS OR REALIGNMENT OF THE FORCE MAIN. THE 45° BENDS SHALL HAVE A MINIMUM OF 5 FEET BETWEEN THEM, WHEN POSSIBLE.

CITY STANDARDS

PRESSURE PIPE NOTES

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S50-1

SCALE: N.T.S.



CITY STANDARDS

WATER MAIN VERTICAL ADJUSTMENT DETAIL

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S50-10

SCALE: N.T.S.

CITY STANDARDS

REVISIONS

BY	DATE
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ENGINEERING AND CAPITAL IMPROVEMENT DEPARTMENT
CITY OF ST. PETERSBURG

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S30-9

SCALE: N.T.S.

CITY STANDARDS

REVISIONS

BY	DATE
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ENGINEERING AND CAPITAL IMPROVEMENT DEPARTMENT
CITY OF ST. PETERSBURG

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S30-50

SCALE: N.T.S.

CITY STANDARDS

REVISIONS

BY	DATE
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ENGINEERING AND CAPITAL IMPROVEMENT DEPARTMENT
CITY OF ST. PETERSBURG

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S50-1

SCALE: N.T.S.

CITY STANDARDS

REVISIONS

BY	DATE
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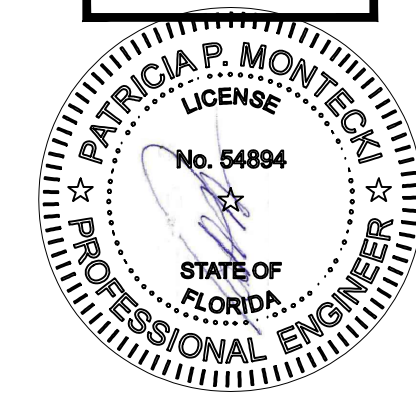
ENGINEERING AND CAPITAL IMPROVEMENT DEPARTMENT
CITY OF ST. PETERSBURG

APPROVED BY: *Jeffrey Pagan* DIRECTOR
DATE: OCT. 2019
DWG. No. S50-10

SCALE: N.T.S.

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EXTERIOR POOL & BAR ADDITION

2349 CENTRAL AVENUE, ST PETERSBURG, FL 33713

DATE: 4-13-20

PROJECT #: 1915

SHEET: C-2

LANG + FERROGLIA

ARCHITECTURE | DEVELOPMENT

FL LICENSE # ARCHITECTURE REGISTRATION # 39211570
8 BELLEVUE BLVD, ST. PETERSBURG, FL 33716
TEL: (727) 666-9677

DRAWN BY: CVO

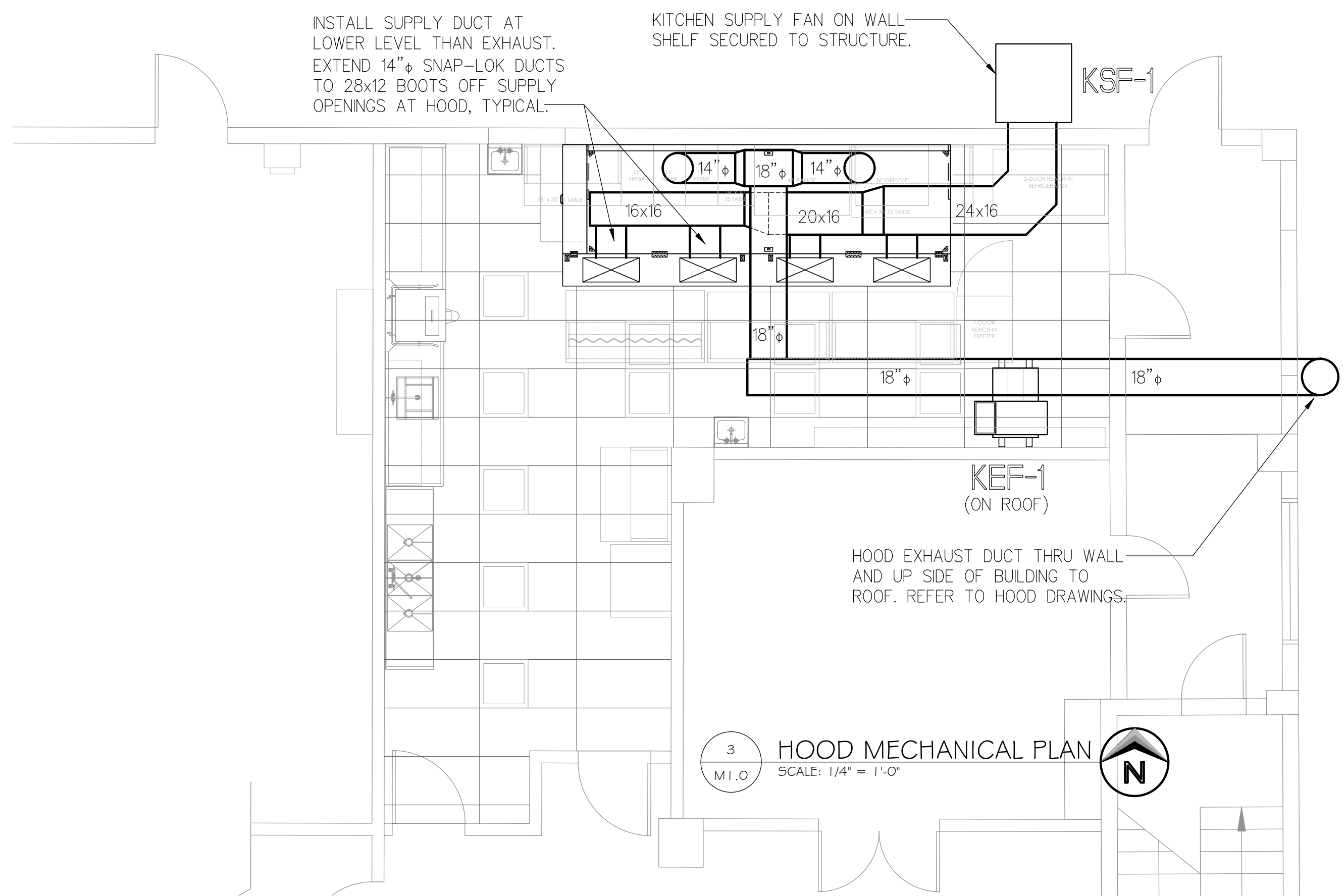
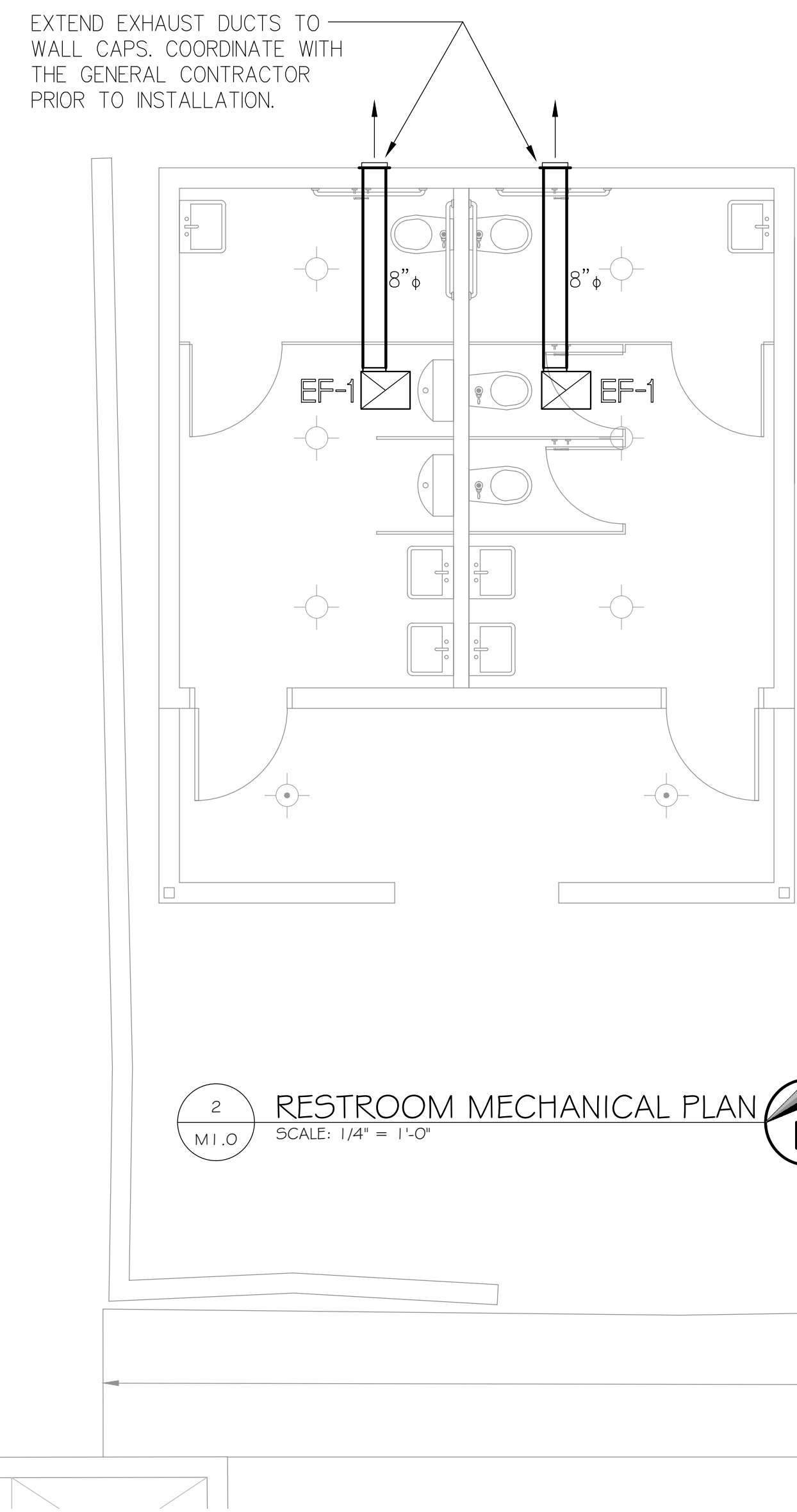
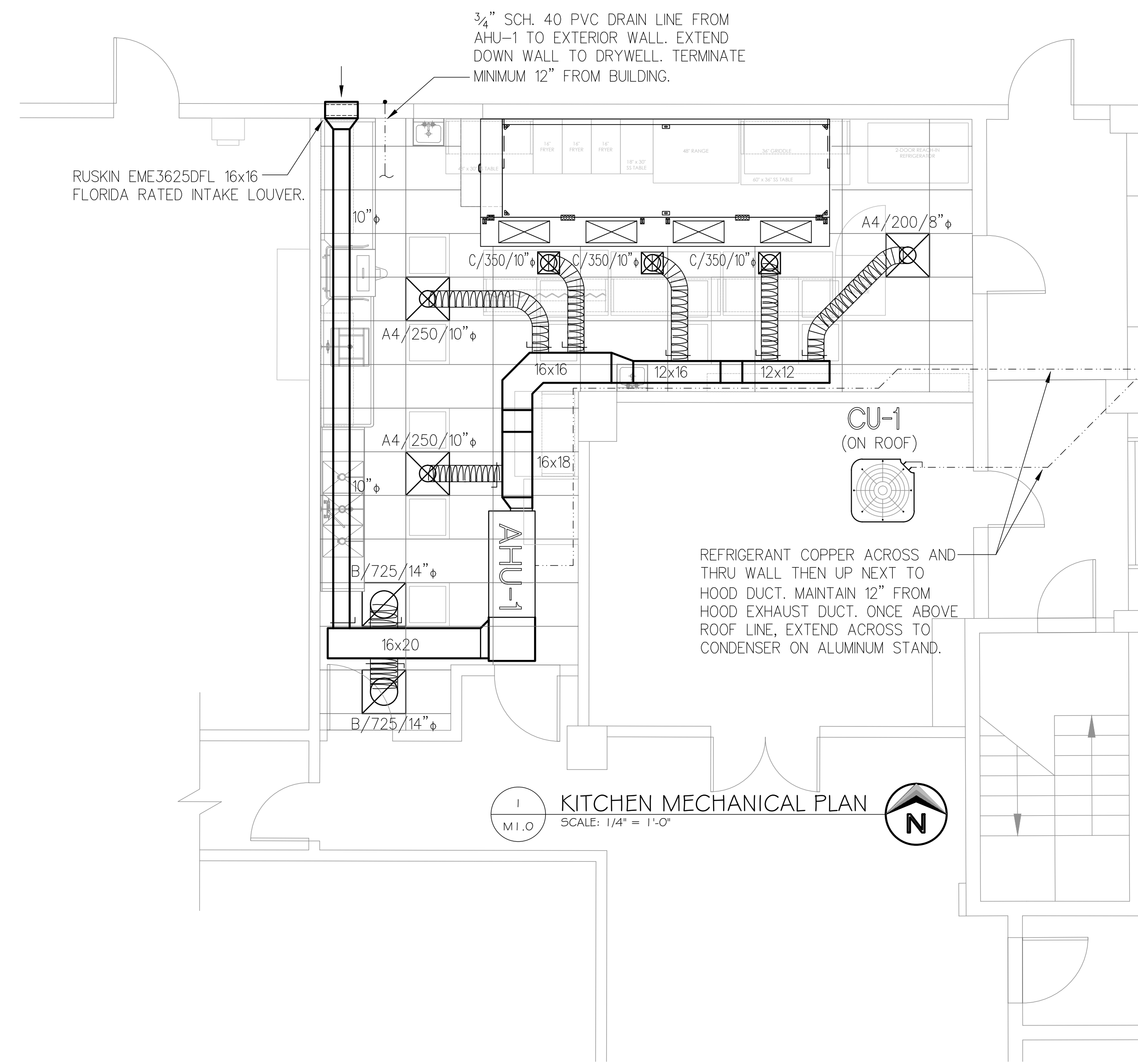
DATE: 4-13-20

PROJECT #: 1915

SHEET: C-2

PATRICIA MONTECKI, P.E.

5032 CHANCELLOR ST NE
ST. PETERSBURG, FL
(727) 235-1650



PROFESSIONAL STATEMENT TO THE BEST OF HIS/HER KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING AND MECHANICAL CODES AND ALL APPLICABLE REGULATIONS AND ORDINANCES.

REVISIONS

NO.	DATE	DESCRIPTION

MDCI FLORIDA, INC.
 4000 South Harbor, Florida 34895
 Ph: 727.698.0398 Fax: 727.797.8225
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LANG + FERFOLLIA ARCHITECTURE | DEVELOPMENT
 FL LICENSE #AR100759 / AIA REGISTRATION #39211570
 6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
 TEL: (727) 666-6677

EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713

MECHANICAL PLANS

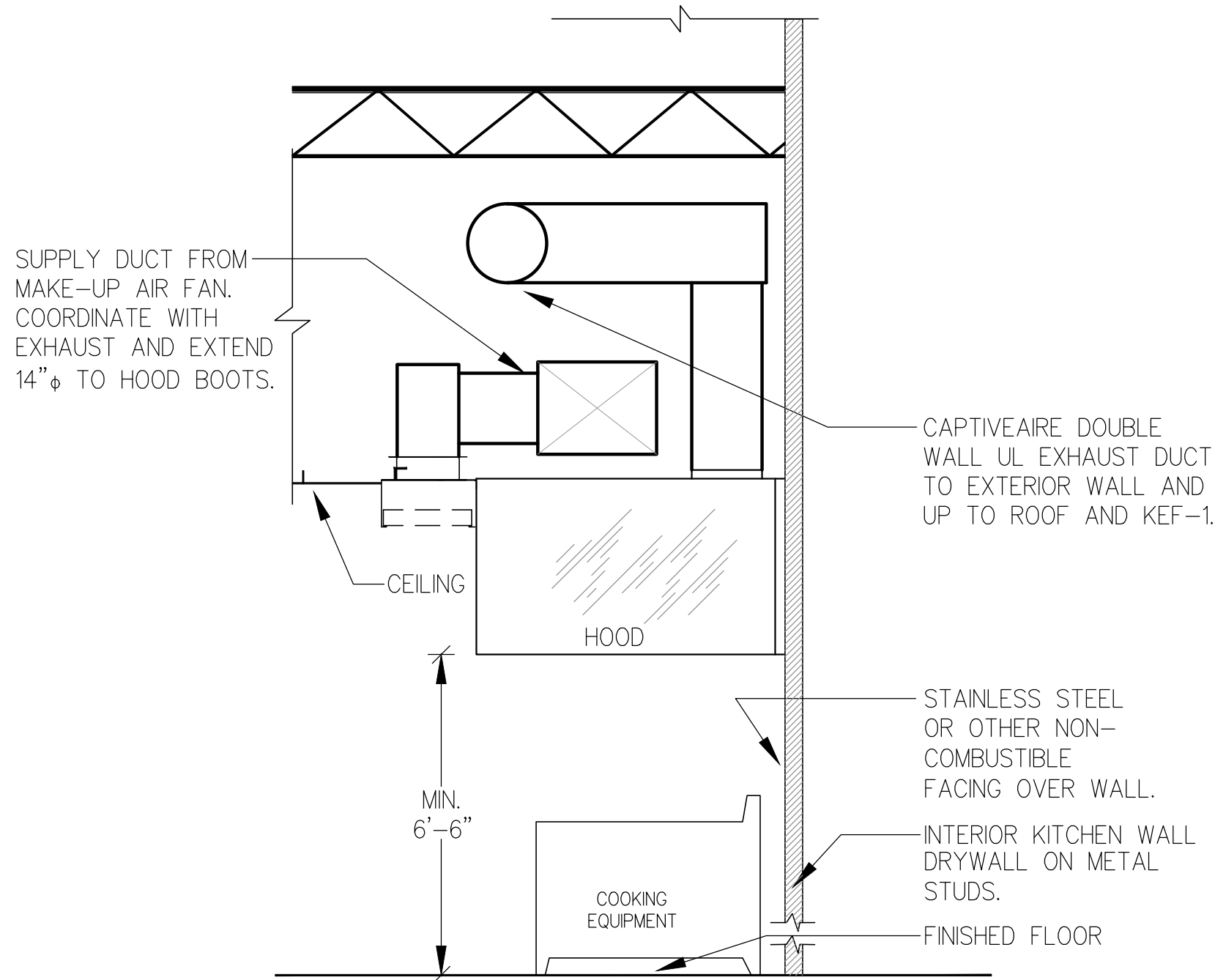
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

This item has been electronically signed and sealed by Gerdard Patterson P.E. on the Date and/or Time Stamp shown by using a digital signature.

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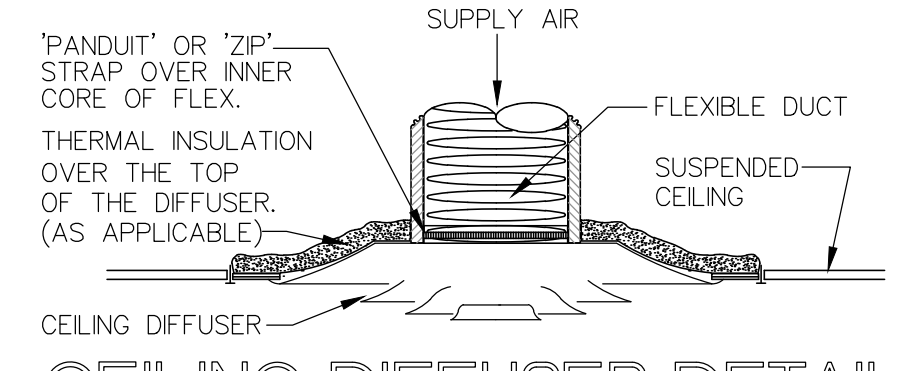
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 PROJECT #: 20085

SHEET: M1.0



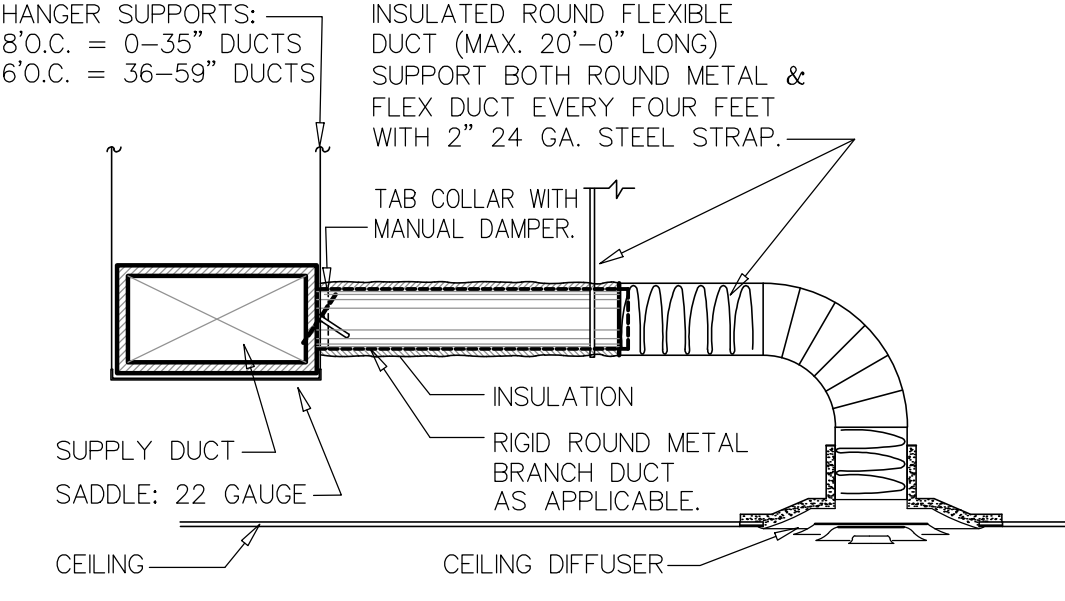
KITCHEN HOOD DETAIL
NOT TO SCALE, FOR DIAGRAMATIC PURPOSES ONLY.

- NOTES:
- HOOD INSTALLATION SHALL COMPLY WITH NFPA 96 AND ALL OTHER APPLICABLE NFPA STANDARDS.
 - "ANSUL" FIRE SUPPRESSION SYSTEM IS FACTORY INSTALLED IN HOOD AND SHALL BE FIELD CONNECTED BY A LICENCED CONTRACTOR SPECIALIZING IN FIRE PROTECTION SYSTEMS.
 - ALL HOOD EXHAUST DUCT SHALL BE MINIMUM 16 GAUGE GALVANIZED STEEL WELDED LIQUID-TIGHT.
 - MAINTAIN MINIMUM 18" CLEAR BETWEEN HOOD AND ALL COMBUSTIBLES.



CEILING DIFFUSER DETAIL
NO SCALE, FOR DIAGRAMATIC PURPOSES ONLY.

- NOTES:
- TAPE INNER COIL OF FLEX TO THE DIFFUSER COLLAR. TAPE COMPLETELY AROUND TO ASSURE AN AIR TIGHT SEAL OR USE 'ZIP' STRAP AROUND INNER CORE OF FLEX. USE METAL BAND CLAMP WHERE REQUIRED BY LOCAL AUTHORITY.
 - PULL FLEX INSULATION AND OUTER COVER DOWN OVER GRILLE COLLAR AND SECURE TO GRILLE WITH TAPE ONLY. DO NOT USE STRAP OR OTHER METHOD WHICH WILL COMPRESS INSULATION.
 - STRETCH FLEX TIGHT BETWEEN DUCT AND DIFFUSER TO AVOID KINKS. SUPPORT EVERY FOUR FEET WITH 2" STEEL STRAP OR OTHER APPROVED HANGER.



CEILING DIFFUSER RUNOUT DETAIL
NOT TO SCALE

- HANGER SUPPORTS SHALL BE AS NOTED ABOVE FOR DUCT WIDTHS UP TO 24" AND WITH TRAPEZE HANGERS FOR DUCTS 25" AND ABOVE.

MECHANICAL GENERAL NOTES:

- DUCT SIZES ARE CLEAR, INSIDE DIMENSIONS. VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO FABRICATION OR INSTALLATION.
- ALL DUCTWORK SHALL BE GALVANIZED SHEET METAL WITH 2", 3/4 LB DENSITY, FOL FACED EXTERNAL INSULATION. ALL JOINTS AND CONNECTIONS TO BE SEALED WITH MASTIC. EXHAUST DUCT AND OUTSIDE AIR DUCTS SHALL BE GALVANIZED STEEL SNAP-LOK WITH ALL JOINTS SEALED WITH MASTIC. INSULATE OUTSIDE AIR DUCT PER ABOVE. ALL DUCT SHALL BE CONSTRUCTED AND INSTALLED PER SMACNA REQUIREMENTS.
- ALL BRANCH CONNECTIONS SHALL BE CLASS ONE FLEXIBLE DUCT WITH A MANUAL VOLUME DAMPER INSTALLED IN THE COLLAR AT THE MAIN TRUNK FOR BALANCING PURPOSES.
- ALL SYSTEMS 2000 CFM AND OVER SHALL HAVE A SMOKE DETECTOR INSTALLED IN THE SUPPLY DUCTWORK. DETECTOR SHALL BE 24 VOLT POWERED FROM THE UNIT'S LOW VOLTAGE PANEL UNLESS THERE IS A FIRE ALARM SYSTEM. THEN THE DETECTOR SHALL BE 120 VOLTS, SUPPLIED BY THE FIRE ALARM CONTRACTOR INSTALLED BY THE HVAC CONTRACTOR AND WIRED BY FIRE ALARM. PROVIDE L.E.D. AND HORN ALARM STATIONS IN AREA MONITORED DURING BUSINESS HOURS, PER CODE.
- ALL ROOF AND WALL PENETRATIONS SHALL BE MADE AND SEALED BY THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE SUBMITTAL DATA IN PDF FORMAT FOR APPROVAL.
- DEVIATION FROM MATERIALS, METHODS, OR PROCEDURES SET FORTH HEREIN MUST BE APPROVED, IN WRITING, BY ENGINEER PRIOR TO SUBMISSION OF BID, ORDER, FABRICATION OR INSTALLATION.
- ANY AND ALL QUESTIONS AS TO THE INTENT OF, OR PROCEDURES SET FORTH IN THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF A BID. LACK OF KNOWLEDGE OR UNDERSTANDING OF PLANS SHALL NOT JUSTIFY ANY CLAIMS OR EXTRA COMPENSATION.
- INSTALLATION SHALL COMPLY WITH ALL APPLICABLE LAWS, CODES, AND ORDINANCES.
- THE HVAC CONTRACTOR SHALL COORDINATE ALL EQUIPMENT, DUCT, & DIFFUSER LOCATIONS AND CLEARANCES WITH ALL OTHER TRADES ON PROJECT, IN PRECONSTRUCTION MEETING, PRIOR TO ANY ORDER, FABRICATION, OR INSTALLATION.
- THERMOSTATS SHALL BE MANUFACTURER 7-DAY PROGRAMMABLE MODEL WITH SUB-BASE. ALL DUAL-COMPRESSOR OR UNLOADING SYSTEMS SHALL HAVE TWO STAGE HEAT/COOL THERMOSTATS. MOUNT THERMOSTATS AT 48" ABOVE FINISHED FLOOR, AND INSTALLED IN ACCORDANCE WITH SMACNA REQUIREMENTS FOR A 1" POSITIVE STATIC PRESSURE CLASSIFICATION.
- RETURN AND EXHAUST DUCTWORK SHALL BE CONSTRUCTED, FABRICATED, AND INSTALLED IN ACCORDANCE WITH SMACNA REQUIREMENTS FOR A 1" NEGATIVE STATIC PRESSURE.
- ALL EXHAUST FAN DISCHARGES AND PLUMBING VENTS SHALL BE A MINIMUM OF 10'-0" FROM FRESH-AIR INTAKES. COORDINATE WITH PLUMBING PLANS PRIOR TO INSTALLATION.
- PLANS AND DIAGRAMS/DETAILS ARE SCHEMATIC ONLY AND REPRESENT THE GENERAL INTENT OF WHAT IS TO BE INSTALLED AND SHOULD NOT BE SCALED. THE HVAC CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION WITH ALL STRUCTURAL AND FIELD CONDITIONS AS WELL AS INSTALLATION HEIGHTS OF PIPING, CONDUIT, ETC. OF OTHER TRADES WHOSE SCOPE OVERLAYS THAT OF THE HVAC CONTRACTOR.
- REFRIGERANT COPPER LIQUID AND SUCTION LINES SHALL BE TYPE 1" HARD DRAWN AND SIZED PER MANUFACTURER'S RECOMMENDATIONS. INSULATE SUCTION LINE WITH 3/4" THICK "ARMAFLEX" INSULATION. TAPE ALL JOINTS TIGHT TOGETHER. REFRIGERANT PIPING CONFIGURATION SHALL ASSURE THAT THE REFRIGERANT OIL SATISFACTORILY RETURNS TO THE COMPRESSOR. PAINT ALL EXPOSED INSULATION WITH UV RESISTANT WHITE PAINT.
- EXTEND SCHEDULE 40 PVC CONDENSATE DRAIN LINES FROM AIR HANDLER TO EXTERIOR AND GRASS/LANDSCAPE AREA. PROVIDE 24"x24"x24" DEEP DRYWELL WITH RIVER GRAVEL IF NO APPROVED SURFACES EXIST ON WHICH TO DRAIN. INSULATE ENTIRE LENGTH WITH 3/16" WALL ARMAFLEX OR OTHER TYPE INSULATION. PROVIDE SAFE-T SWITCH AT AHU AND FLOAT SWITCH AT SECONDARY PAN.
- THE MECHANICAL CONTRACTOR SHALL RETAIN THE SERVICES OF AN INDEPENDENT TEST AND BALANCE AGENCY TO TEST AND BALANCE ALL HVAC SYSTEMS ON THIS PROJECT. THE TEST AND BALANCE REPORT SHALL BE SUBMITTED TO THE MECHANICAL ENGINEER FOR REVIEW AND ACCEPTANCE. THE TEST AND BALANCE CONTRACTOR SHALL INCLUDE THE PROVISION FOR ADJUSTMENTS REQUESTED BY THE MECHANICAL ENGINEER-OF-RECORD AND RESUBMITTAL OF THE REVISED TEST AND BALANCE REPORT. THE AIR DEVICES IN EACH SPACE SHALL BE BALANCED TO WITHIN 10% OF THE AIRFLOW QUANTITIES INDICATED ON THE MECHANICAL DRAWINGS. TESTING AGENCY SHALL BE AABC OR NEBB CERTIFIED.
- THE HVAC CONTRACTOR SHALL ANTICIPATE AND PROVIDE ALL INCIDENTAL AND PERIPHERAL ITEMS WHICH ARE OBVIOUSLY REQUIRED AND NECESSARY TO COMPLETE THE INSTALLATION REGARDLESS IF THESE ITEMS ARE SPECIFIED AND/OR SHOWN ON THE PLAN(S).

AIR HANDLER SCHEDULE

MARK	DESCRIPTION
EF-1	COOK-GEMIN
GC-186	RESTROOM

CONDENSING UNIT SCHEDULE

MARK	DESCRIPTION
AHJ-1	CARRIER
CU-1	CARRIER

- NOTES:
- HVAC CONTRACTOR COORDINATE ELECTRICAL DATA WITH ELECTRICAL CONTRACTOR PRIOR TO ORDER OF EQUIPMENT.
 - UNIT SHALL HAVE A SINGLE POINT ELECTRICAL CONNECTION.
 - PROVIDE TXV'S AND LOW AND HIGH PRESSURE SWITCHES.
 - PROVIDE LIQUID LINE FILTER-DRYERS.
 - PROVIDE FACTORY 7-DAY PROGRAMMABLE THERMOSTAT.
 - INSTALL FILTERS IN AIR HANDLER PRIOR TO START UP AND PROVIDE NEW SET OF FILTERS AT COMPLETION OF CONSTRUCTION.

FAN SCHEDULE

MARK	MANUFACTURER	MODEL NUMBER	AREA	TYPE	C.F.M.	R.P.M.	SONES	S.P.	WATTS	H.P.	VOLTS	PHASE	NOTES
EF-1	COOK-GEMIN	GC-186	RESTROOM	CEILING EXHAUST	210	1100	5.5	.25	88	--	120V.	1P.	1-4

- NOTES:
- PROVIDE BACKDRAFT DAMPER.
 - FACTORY PLUG DISCONNECT.
 - GALVANIZED STEEL SCREENED WALL CAP.
 - FAN SHALL BE CONTROLLED BY ROOM LIGHT SWITCH.

AIR DISTRIBUTION SCHEDULE

MARK	MANUFACTURER	MODEL NUMBER	SIZE	CFM	NECK	LOCATION	MATERIAL	NOTES
A	PRICE	ASPD	24 X 24	SEE PLAN	SEE PLAN	CEILING	ALUMINUM	1,2
B	PRICE	630	24 X 24	SEE PLAN	24 X 24	CEILING	ALUMINUM	1,2,3
C	PRICE	620	12 X 12	SEE PLAN	12 X 12	CEILING	ALUMINUM	1,2,4,5,6,7

- NOTES:
- PROVIDE MANUAL VOLUME DAMPER AT MAIN TRUNK FOR BALANCING.
 - DIFFUSER FINISH SHALL BE OFF-WHITE.
 - PATTERN SHALL BE 45 DEGREE FIXED BLADE, 3/4" SPACING.
 - PROVIDE PRE-FAB R-6 INSULATED GRILLE BOX WITH TAB COLLAR.
 - GRILLE FACE SHALL BE DOUBLE DEFLECTION TYPE. NO STAMPED GRILLES ACCEPTED.
 - PROVIDE SURFACE MOUNT FRAME FOR INSTALLATION IN GYP CEILING.

PROFESSIONAL STATEMENT TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE ARCHITECT HAS PREPARED THESE DRAWINGS TO THE BEST OF HIS KNOWLEDGE AND BELIEF, AND TO THE BEST OF HIS BELIEF, THE INFORMATION IS TRUE AND CORRECT.

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EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

HW: TITLE

HVAC SCHEDULES & DETAILS

STATE OF FLORIDA
PROFESSIONAL ENGINEER

LANG + FERROGLIA
ARCHITECTURE | DEVELOPMENT

FL LICENSE #AF100758 / AIA REGISTRATION #39211570
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TEL: (727) 666-6677

DRAWN BY: BMD
DATE: 7-29-20
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HOOD INFORMATION - Job#4458151

HOOD NO	TAG	MODEL	LENGTH	MAX COOKING TEMP	TYPE	APPLIANCE DUTY	DESIGN CFM/ft	TOTAL EXH CFM	EXHAUST PLENUM						MUA CFM	AC CFM	HOOD CONSTRUCTION	HOOD CONFIG		
									RISER(S)			VEL						SP		END TO END
									WIDTH	LENG	HEIGHT	DIA	CFM	VEL	SP					
1		5424 ND-2-ACPSP-F	15' 0"	600 Deg	I	Heavy	225	3375			4"	14"	1687	1578	-0.906"	2850	875	430 SS Where Exposed	ALONE	ALONE
											4"	14"	1687	1578	-0.906"					

HOOD INFORMATION

HOOD NO	TAG	FILTER(S)						LIGHT(S)			UTILITY CABINET(S)				FIRE SYSTEM PIPING	HOOD HANGING WEIGHT				
		TYPE	QTY	HEIGHT	LENGTH	EFFICIENCY @ 7 MICRONS	QTY	TYPE	WIRE GUARD	LOCATION	SIZE	FIRE SYSTEM		ELECTRICAL			SWITCHES			
															TYPE	SIZE	MODEL #	QUANTITY		
1		Captrate Solo Filter	11	16"	16"	85% See Filter Spec	4	Recessed	NO	Left	12"x54"x24"						DCV-1111	1 Light 1 Fan	YES	165 LBS

HOOD OPTIONS

HOOD NO	TAG	OPTION
1		FIELD WRAPPER 18.00" High Front, Left, Right BACKSPASH 80.00" High X 192.00" Long 430 SS Vertical RISER SENSOR INSTALL 3IN DBL RIGHT VERTICAL END PANEL 27" Top Width, 21" Bottom Width, 80" High Insulated 430 SS LEFT VERTICAL END PANEL 27" Top Width, 21" Bottom Width, 80" High Insulated 430 SS

PERFORATED SUPPLY PLENUM(S)

HOOD NO	TAG	POS	LENGTH	WIDTH	HEIGHT	TYPE	RISER(S)				
							WIDTH	LENG	DIA	CFM	SP
1		Front	192"	26"	6"	MUA	12"	28"		675	0.173"
						MUA	12"	28"		675	0.173"
						MUA	12"	28"		675	0.173"
						MUA	12"	28"		675	0.173"
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	
						AC		8"	125	0.049"	

SPECIFICATION: CAPTRATE GREASE-STOP SOLO FILTER

THE CAPTRATE GREASE-STOP SOLO FILTER IS A SINGLE-STAGE FILTER FEATURING A UNIQUE S-Baffle DESIGN IN CONJUNCTION WITH A SLOTTED REAR Baffle DESIGN, TO DELIVER EXCEPTIONAL FILTRATION EFFICIENCY.

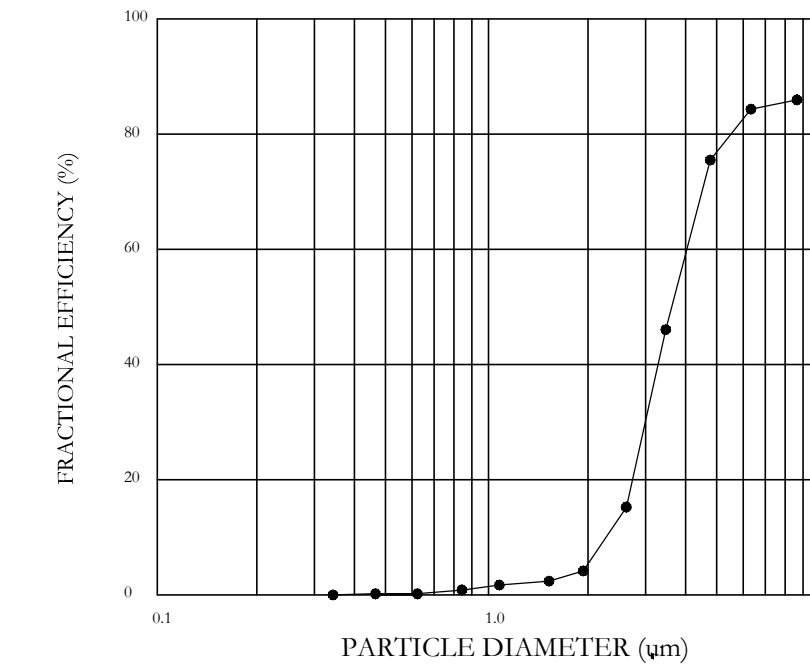
FILTER IS STAINLESS STEEL CONSTRUCTION, AND SIZED TO FIT INTO STANDARD 2-INCH DEEP HOOD CHANNEL(S).

UNITS SHALL INCLUDE STAINLESS STEEL HANDLES AND A FASTENING DEVICE TO SECURE THE TWO COMPONENTS WHEN ASSEMBLED.

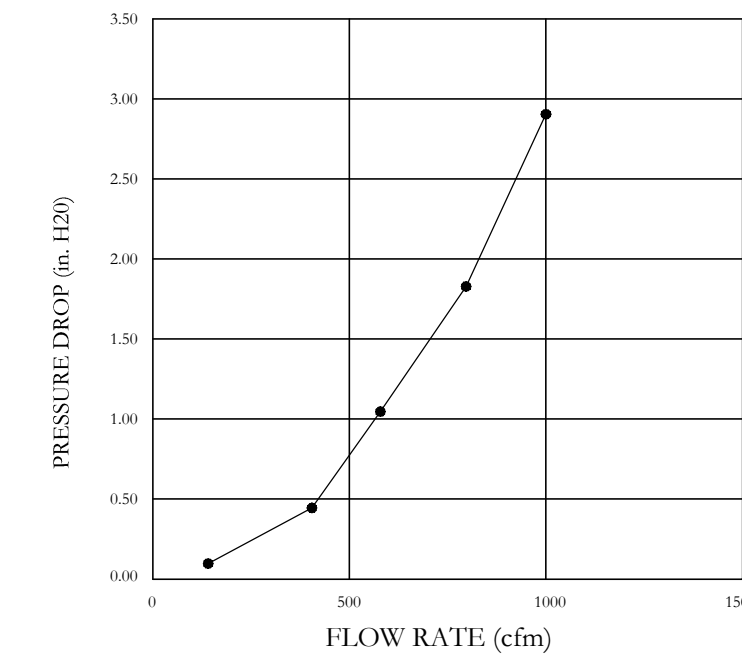
GREASE EXTRACTION EFFICIENCY PERFORMANCE SHALL REMOVE AT LEAST 75% OF GREASE PARTICLES FIVE MICRONS IN SIZE, AND 85% GREASE PARTICLES SEVEN MICRONS IN SIZE AND LARGER, WITH A CORRESPONDING PRESSURE DROP NOT TO EXCEED 1.0 INCHES OF WATER GAUGE.

THE CAPTRATE GREASE-STOP SOLO WAS TESTED TO ASTM STANDARD ASTM F2519-05, MANUFACTURER APPROVED FOR USE IN SOLID FUEL APPLICATIONS AS A SPARK ARRESTER.

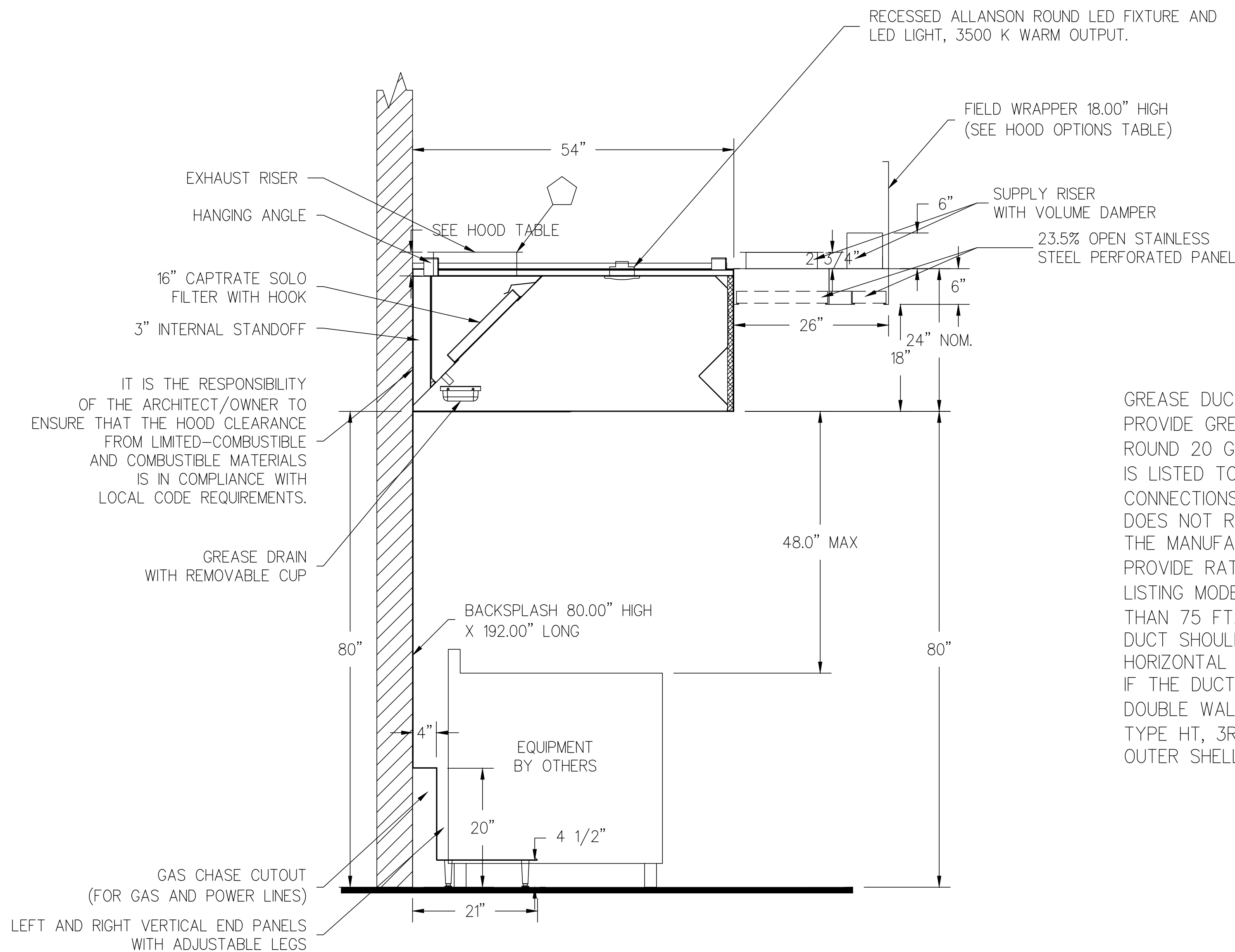
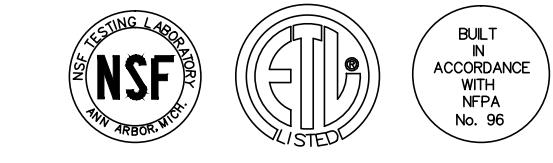
EFFICIENCY VS. PARTICLE DIAMETER



PRESSURE DROP VS. FLOW RATE



CAPTRATE FILTERS ARE BUILT IN COMPLIANCE WITH:
 NFPA #96
 NSF STANDARD #2
 UL STANDARD #1046
 INT. MECH. CODE (MC)
 ULC-S649



IT IS THE RESPONSIBILITY OF THE ARCHITECT/OWNER TO ENSURE THAT THE HOOD CLEARANCE FROM LIMITED-COMBUSTIBLE AND COMBUSTIBLE MATERIALS IS IN COMPLIANCE WITH LOCAL CODE REQUIREMENTS.

GREASE DUCT & CHIMNEY SPECIFICATIONS:

PROVIDE GREASE DUCT EQUAL TO CAPTIVEAIRE SYSTEMS MODEL "DW" ROUND 20 GAUGE 430 STAINLESS STEEL DUCTWORK. MODEL "DW" IS LISTED TO UL-1978 AND IS INSTALLED USING "V" CLAMP LOCKING CONNECTIONS SEALED WITH 3M FIRE BARRIER 2000 PLUS. MODEL "DW" DOES NOT REQUIRE WELDING PROVIDING IT HAS BEEN INSTALLED PER THE MANUFACTURES INSTALLATION GUIDE.

PROVIDE RATED ACCESS DOORS AT EVERY CHANGE IN DIRECTION AND EVERY 12' ON CENTER. PER MANUFACTURES LISTING MODEL "DW" HORIZONTAL RUNS LESS THAN 75 FT. CAN BE SLOPED 1/16" PER 12", HORIZONTAL RUNS MORE THAN 75 FT. CAN BE SLOPED 3/16" PER 12". DUCT SHOULD BE SLOPED AS MUCH AS POSSIBLE TO REDUCE THE CHANCE OF GREASE ACCUMULATION IN HORIZONTAL RUNS.

IF THE DUCT OR CHIMNEY IS WITHIN 18 INCHES OF COMBUSTIBLE MATERIAL, PROVIDE UL-2221 OR UL-103 HT LISTED DOUBLE WALL GREASE DUCT OR DOUBLE WALL CHIMNEY EQUAL TO CAPTIVEAIRE SYSTEMS MODEL "DW- 2R, 2R TYPE HT, 3R, OR 3Z" ROUND 20 GAUGE 430 STAINLESS INNER DUCT INSULATED WITH A 24 GAUGE 430 STAINLESS OUTER SHELL.

SECTION VIEW - MODEL 5424ND-2-ACPSP-F HOOD - #1

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REVISIONS

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 6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
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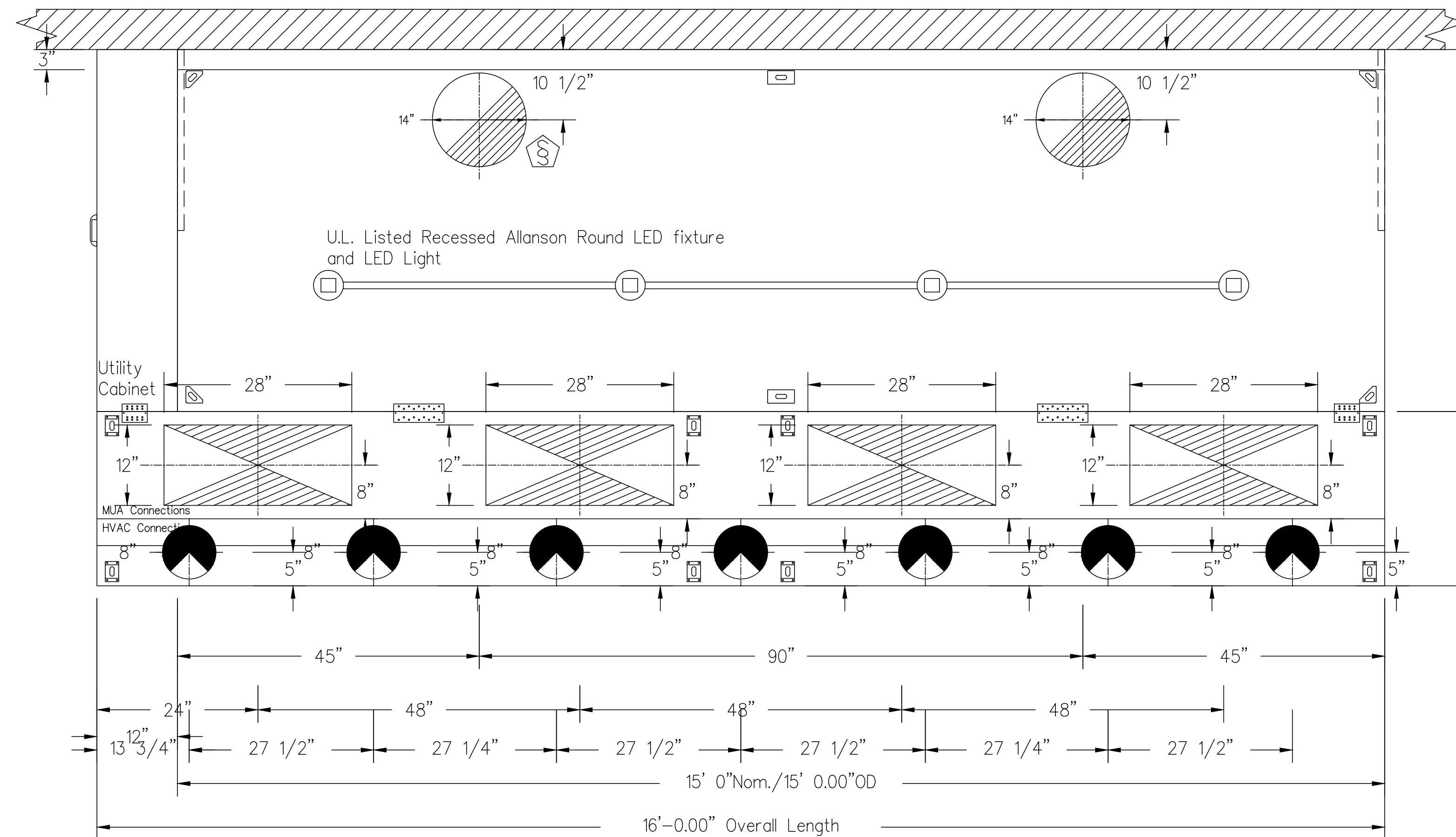
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EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713

HOOD SCHEDULE & SECTION

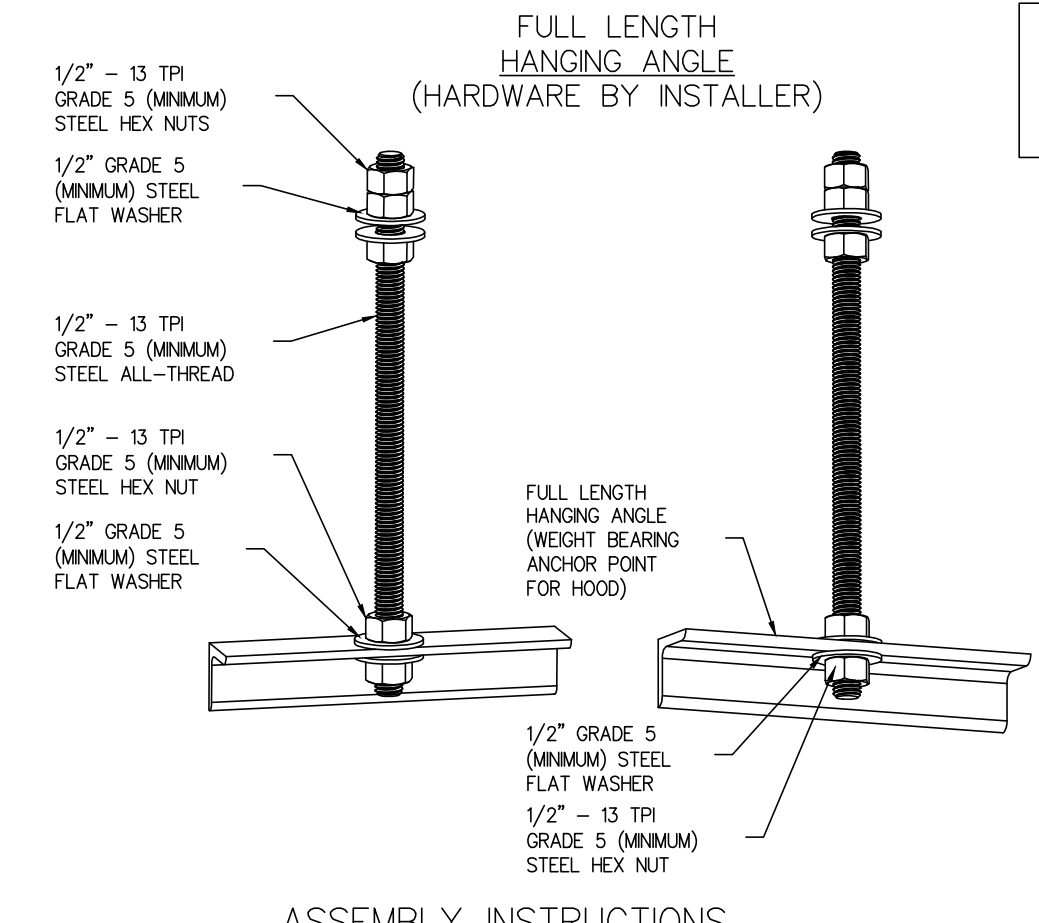
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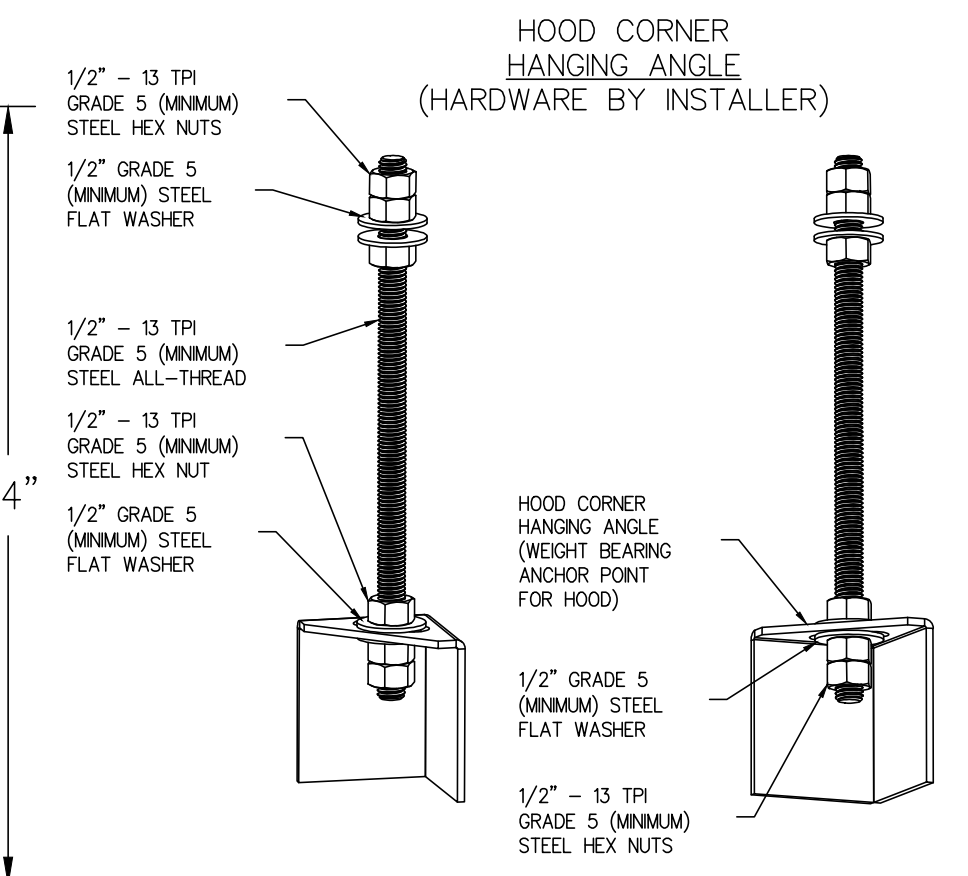


PLAN VIEW - Hood #1
 15' 0.00" LONG 5424ND-2-ACPSP-F
 NOTE: Additional hanging angles provided for hoods 12" and longer.

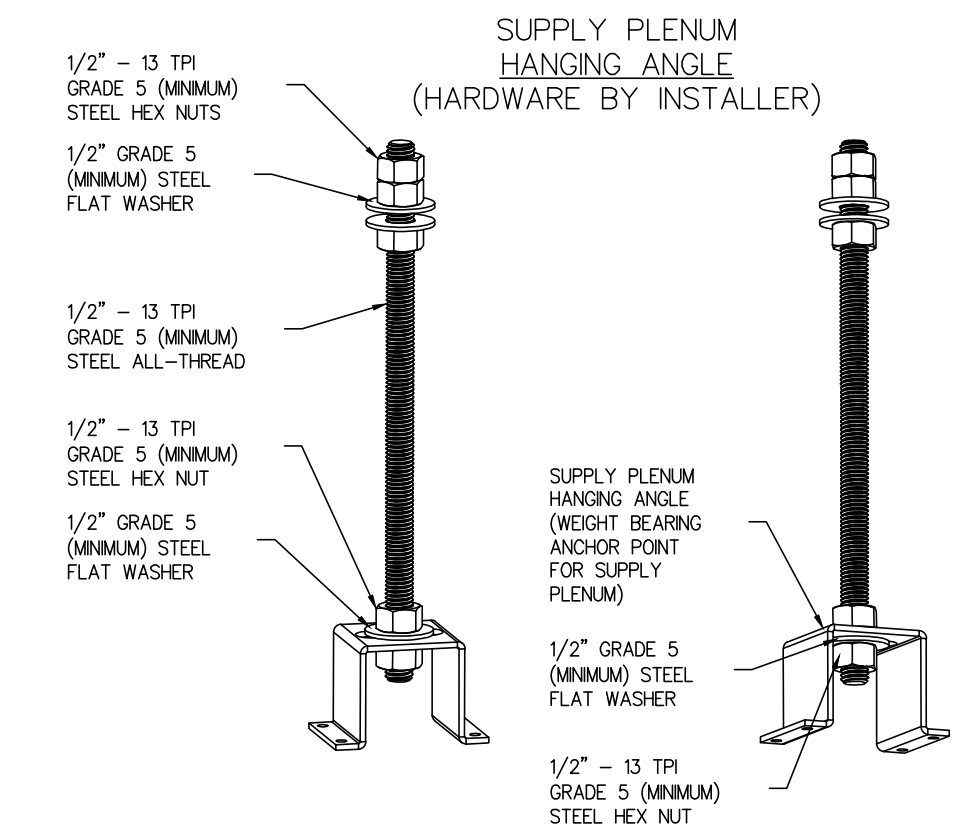
ACPSP ships loose for field installation
 NOTE: HVAC CONNECTION SECTION IS NOT USED.



HANGING ANGLE MUST BE SUPPORTED WITH 1/2" - 13 TPI GRADE 5 (MINIMUM) ALL-THREAD. SANDWICH HANGING ANGLES AND CEILING ANCHOR POINTS WITH 1/2" GRADE 5 (MINIMUM) STEEL FLAT WASHERS AND 1/2" - 13 TPI GRADE 5 (MINIMUM) HEX NUTS AS SHOWN. MUST USE DOUBLED HEX NUT CONFIGURATION ABOVE CEILING ANCHORS. SINGLE HEX NUT BENEATH HANGING ANGLE IS ACCEPTABLE FOR FULL LENGTH HANGING ANGLES. MAINTAIN 1/4" OF EXPOSED THREADS BENEATH BOTTOM HEX NUT. TORQUE ALL HEX NUTS TO 57 FT-LBS.



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EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 DWG. TITLE: HOOD PLAN VIEW

LANG + FERFOLLIA
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EXHAUST FAN INFORMATION - Job#4458151

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	CFM	ESP	RPM	MOTOR ENCL	HP	BHP	VOLT	FLA	DISCHARGE VELOCITY	WEIGHT (LBS)	SONES	
2	Exhaust	1	USB18DD-RM	3375	2.350	1550	ODP,PREMIUM	3.000	2.1620	3	208	9.5	1730 FPM	404	25

MUA FAN INFORMATION - Job#4458151

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP	RPM	MOTOR ENCL	HP	BHP	VOLT	FLA	MCA	MOCF	WEIGHT (LBS)	SONES	
1	Supply	1	INLINE2-20D	20MF-2-MOD	INLINE.2	1500	2700	0.500	1106	ODP,PREMIUM	2.000	0.7510	3	208	6.1	7.7A	15A	324	7.3

FAN OPTIONS

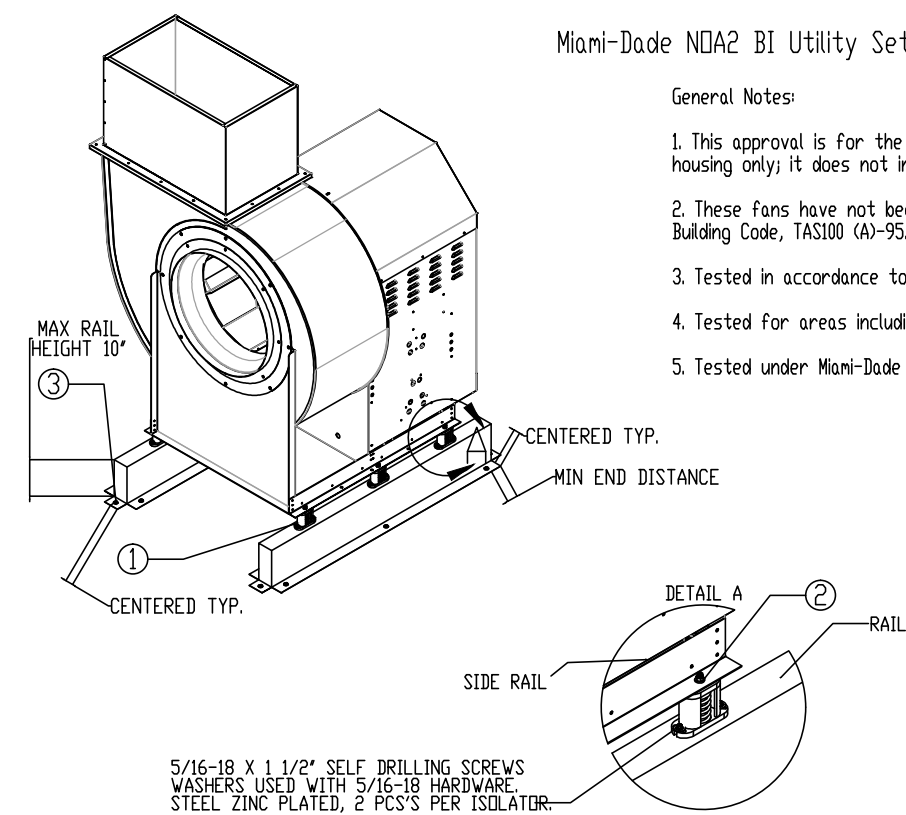
FAN UNIT NO	TAG	QTY	Description
2	Exhaust	1	BI18 - Inlet Service Duct Connection. Used to connect to standard 20" Grease Duct or Field Welded Duct. Includes (2) 7" risers bolted to standard inlet riser.
		1	Utility Set Grease Cup
		1	BI18 - 24" Discharge Extension.
		1	BI - Discharge Orientation Vertical Upper Left - CW Inlet Side.
		1	BI18 - Inlet Connection Standard 20" Flanged Grease Duct.
		1	Miami Dade Certification - NOA-2 BI Utility Set

FAN ACCESSORIES

FAN UNIT NO	TAG	EXHAUST			SUPPLY			
		GREASE CUP	GRAVITY DAMPER	WALL MOUNT	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT
1	Supply				YES			
2	Exhaust	YES						

CURB ASSEMBLIES

NO	ON FAN	TAG	WEIGHT	ITEM	SIZE
2	# 2	Exhaust	42 LBS	Rail	4.000"W x 48.000"L x 10.000"H Right 16 Gauge Comes as a set of 2.



Miami-Dade NDA2 BI Utility Set

General Notes:

- This approval is for the structural capacity and impact rating of the exterior housing only; it does not include any interior mechanism or electrical part.
- These Fans have not been wind tested for Wind Driven Rain Test per Florida Building Code, TAB200 (04-95).
- Tested in accordance to Florida Building Code test protocol TAB200, TAB202, TAB203.
- Tested for areas including high velocity hurricane zones.
- Tested under Miami-Dade County Notification number A11-08034.

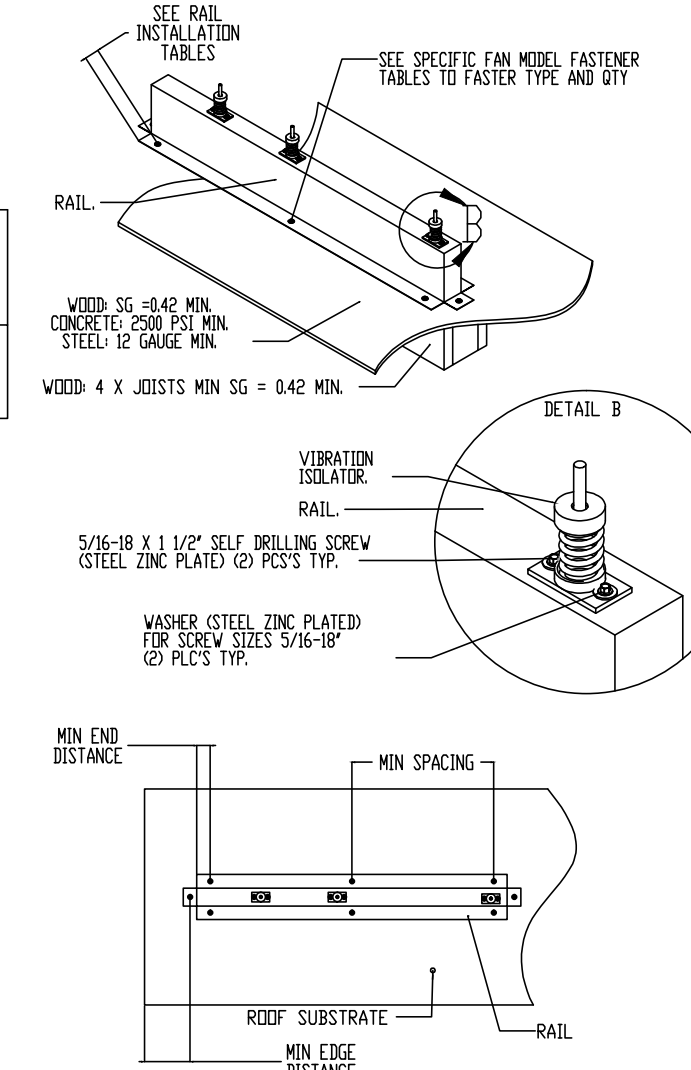
Installation Instructions:

- LOCATE VIBRATION ISOLATORS AS NOTED ON THE RAIL CENTER IN THE RAIL AND SECURE WITH 5/16-18 X 1 1/2\"/>

	INSTALLATION FASTENER TYPES		
	Wood (SG = 0.42 Min.)	Steel (12 Gauge Min.)	Concrete (2500 psi Min. Cracked Concrete)
Fastener	3/8" Dia. Zinc Plated Lag Bolt	1/4"-14 Dri-Flex Self Drilling Screw	3/8" Dia. SS #10 Kwik Bolt TZ Expansion Anchor
Minimum Thread Penetration	2-5/16"	12 Gauge	2-5/16"
Minimum Edge Distance	1-1/2"	3/8"	3"
Minimum End Distance	2-5/8"	3/8"	4"
Minimum Spacing	1-1/2"	3/4"	7"

Fan Model	Wood			Steel			Concrete		
	Long Side	Short Side	Total	Long Side	Short Side	Total	Long Side	Short Side	Total
BBB	3	1	8	2	1	6	3	1	8

Miami-Dade County - Rail Installation Guide



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EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 DWG. TITLE: HOOD FAN SCHEDULES

Professional Engineer Seal for GARDNER PATTERSON P.E., State of Florida, License # 12577

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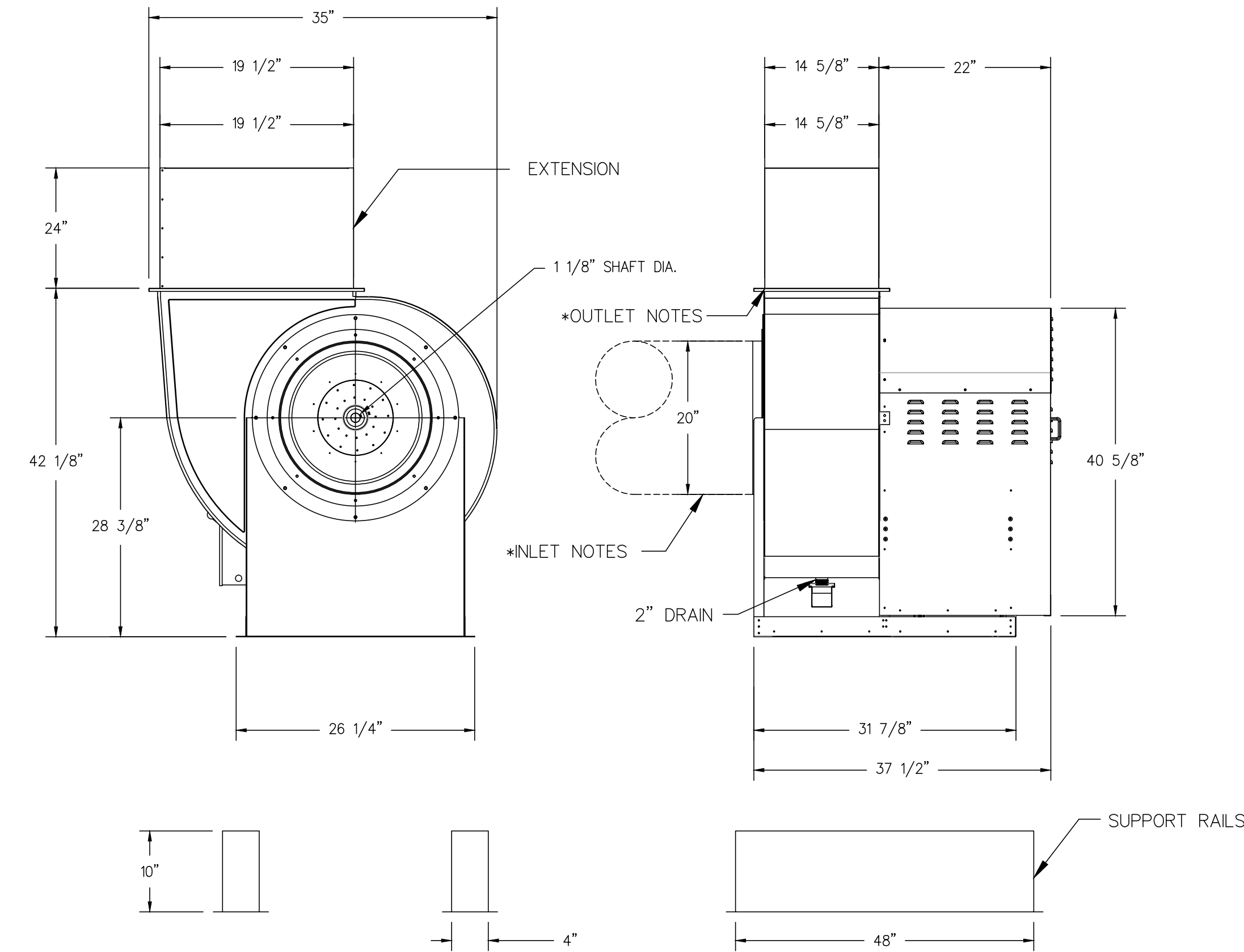
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CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE BEGINNING OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE BEGINNING OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE BEGINNING OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE BEGINNING OF THE WORK.

- FAN #1 INLINE2-20D - SUPPLY FAN (SUPPLY)
1. INLINE SUPPLY UNIT W/ 20" DIRECT DRIVE FAN IN SIZE #2 HOUSING. INSULATED HOUSING.
 2. SIDE DISCHARGE - AIR FLOW RIGHT -> LEFT
 3. HINGED DOUBLE WALL INSULATED DOOR ASSEMBLY (BURNER/BLOWER SECTION)

*NOTE: SUPPLY DUCT MUST BE INSTALLED TO MEET SMACNA STANDARDS. A MINIMUM STRAIGHT DUCT LENGTH MUST BE MAINTAINED DOWNSTREAM OF UNIT DISCHARGE AS OUTLINED IN AMCA PUBLICATION 201. WHEN USING RECTANGULAR DUCTWORK, ELBOWS MUST BE RADIUS THROAT, RADIUS BACK WITH TURNING VANES. FLEXIBLE DUCTWORK AND SQUARE THROAT/SQUARE BACK ELBOWS SHOULD NOT BE USED. ANY TRANSITION AND/OR TURNS IN THE DUCTWORK WILL CAUSE SYSTEM EFFECT. SYSTEM EFFECT WILL DRASTICALLY INCREASE STATIC PRESSURE AND REDUCE AIRFLOW. DO NOT RELY ON UNIT TO SUPPORT DUCT IN ANY WAY. FAILURE TO PROPERLY SIZE DUCTWORK MAY CAUSE SYSTEM EFFECTS AND REDUCE PERFORMANCE OF THE EQUIPMENT. SUGGESTED STRAIGHT DUCT SIZE IS 26" x 26"

FAN #2 USB18DD-RM - EXHAUST FAN (EXHAUST)

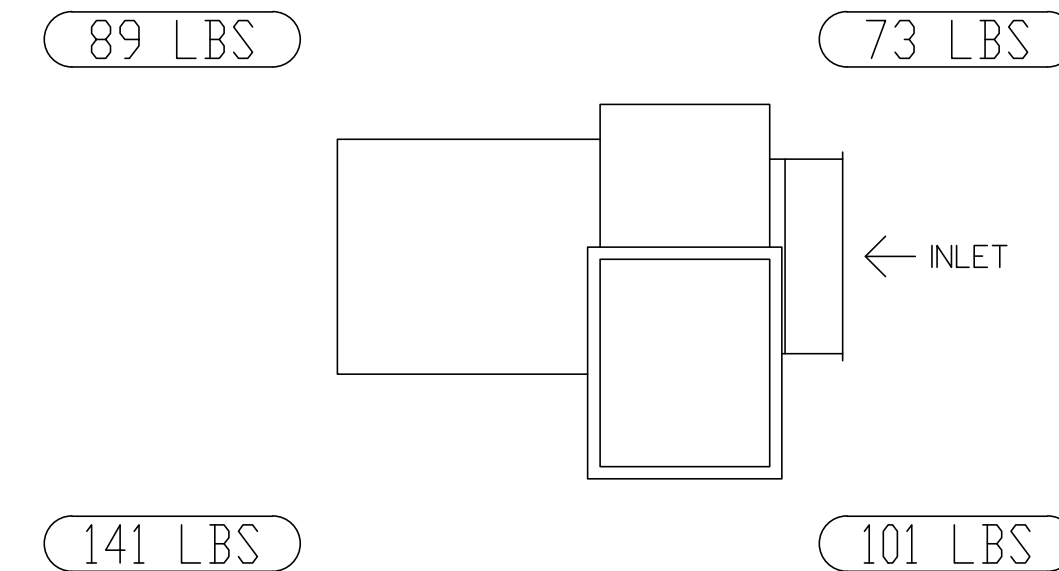


* INLET/OUTLET NOTES:
LENGTH OF THE STRAIGHT DUCT ON THE INLET AND OUTLET TO BE 3 TIMES THE EQUIVALENT DUCT DIAMETER BEFORE CONNECTING TO ANY FITTINGS SUCH AS ELBOWS TO AVOID SYSTEM EFFECT.

NORMAL TEMPERATURE TEST DIRECT DRIVE EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 350 F (176 C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

CORNER WEIGHTS ARE CALCULATED BASED ON VERTICAL DISCHARGE. SUPPORT DUCT PROPERLY BEFORE FAN TO ENSURE CORNER WEIGHTS ARE NOT AFFECTED.

UNIT PLAN VIEW CORNER WEIGHTS:

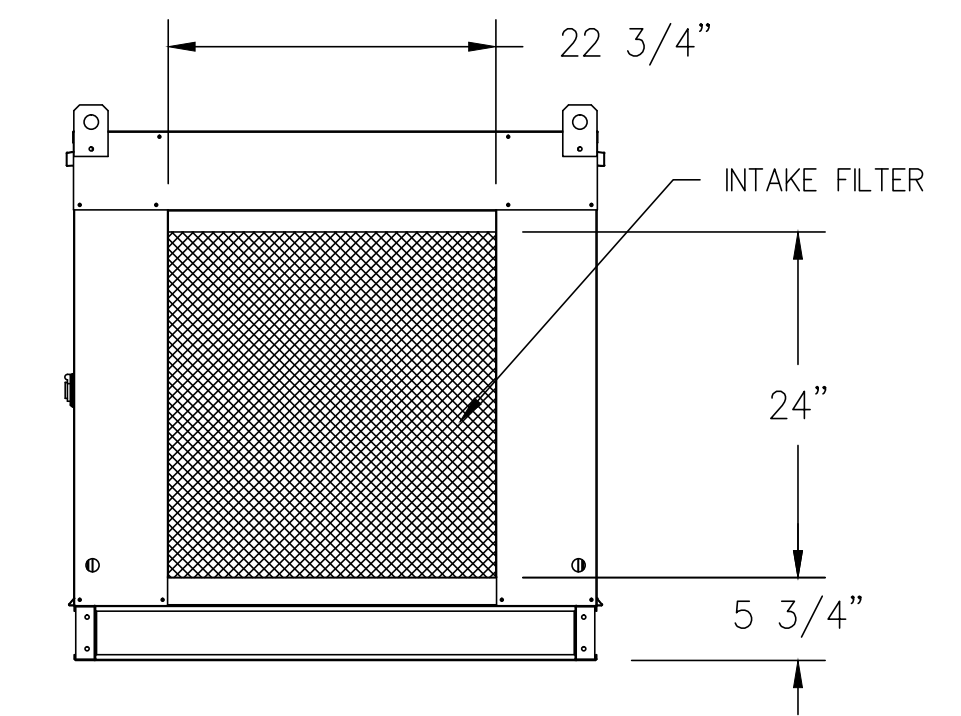
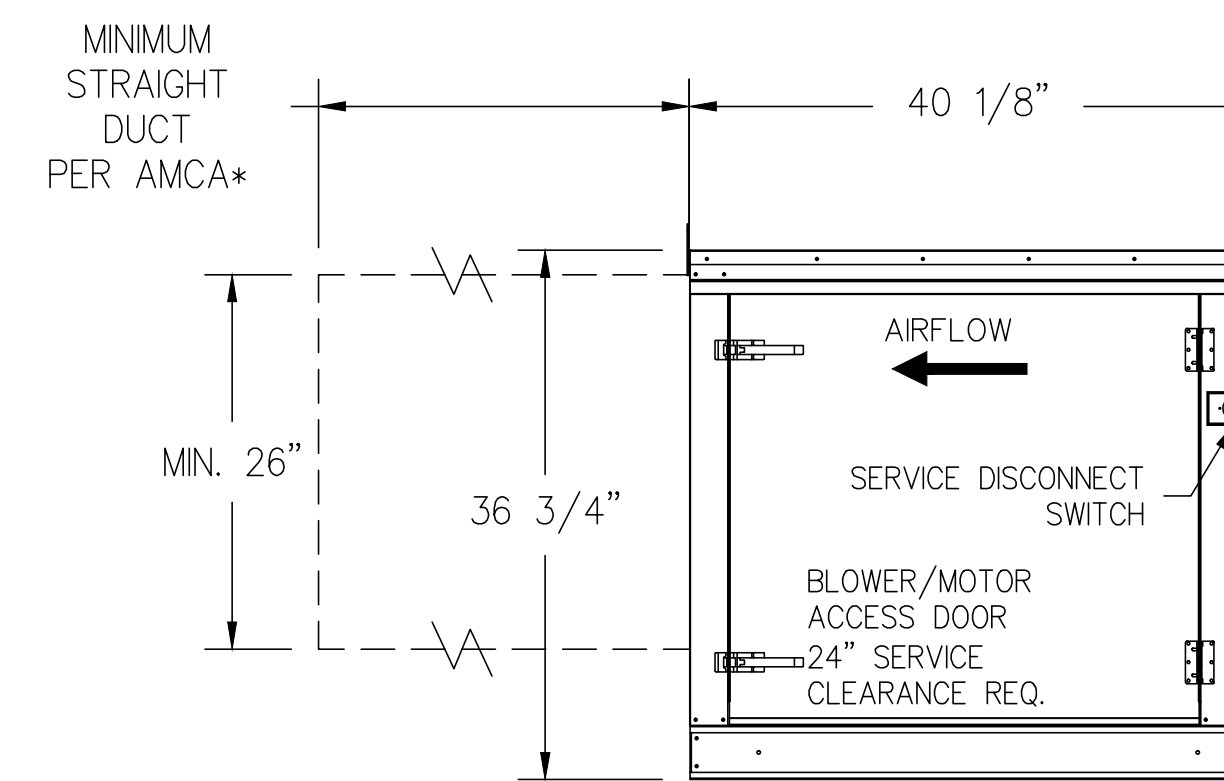
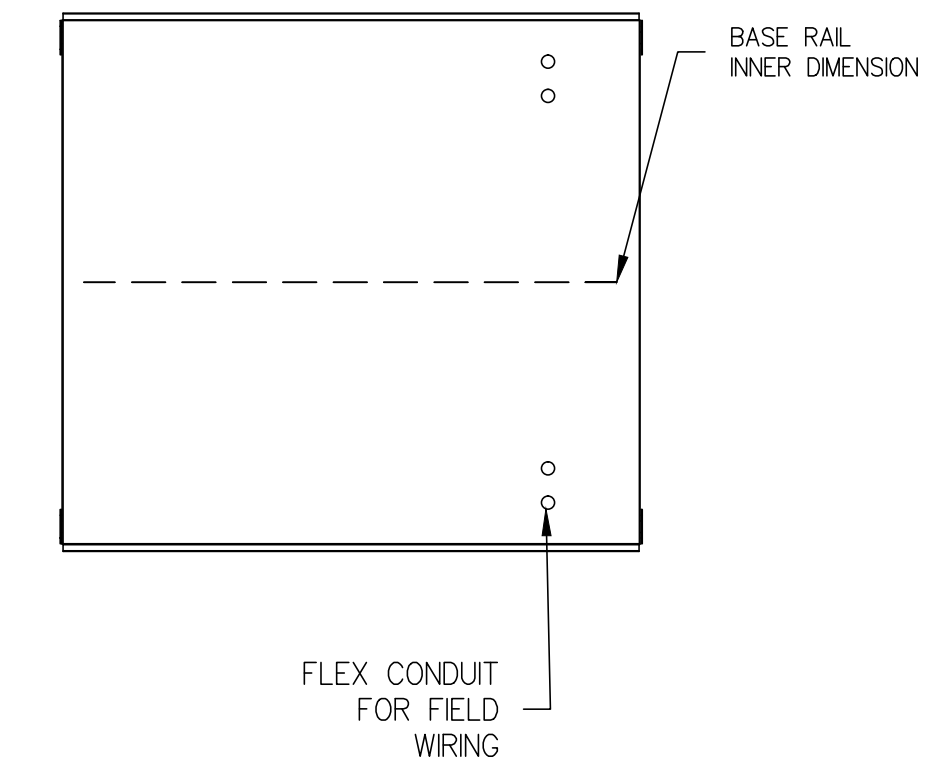


FEATURES:

- ROOF MOUNTED FANS
- UL705
- UL762 AND ULC-S645 (RESTAURANT MODEL)
- HIGH HEAT OPERATION DIRECT DRIVE 350 F (176 C)
- HEAT SLINGER
- WEATHERPROOF DISCONNECT
- GREASE CLASSIFICATION TESTING
- 2" DRAIN
- MOTOR WEATHER COVER
- FULLY SEALED SCROLL HOUSING
- SCROLL ACCESS DOOR
- FLANGE 1 1/4"

OPTIONS

- B118 - INLET SERVICE DUCT CONNECTION. USED TO CONNECT TO STANDARD 20" GREASE DUCT OR FIELD WELDED DUCT. INCLUDES (2) 7" RISERS BOLTED TO STANDARD INLET RISER. UTILITY SET GREASE CUP.
- B118 - 24" DISCHARGE EXTENSION.
- BI - DISCHARGE ORIENTATION VERTICAL UPPER LEFT - CW INLET SIDE.
- B118 - INLET CONNECTION STANDARD 20" FLANGED GREASE DUCT.
- MIAMI DADE CERTIFICATION - NOA-2 BI UTILITY SET.



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 CONSULTANT

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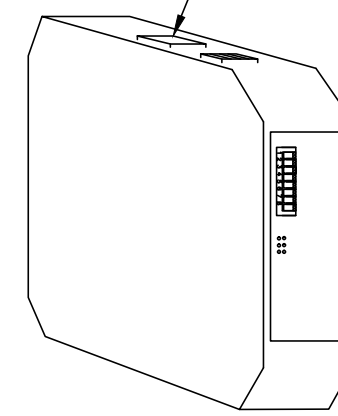
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ELECTRICAL PACKAGE – Job#4458151

NO	TAG	PACKAGE #	LOCATION	SWITCHES		OPTION	FANS CONTROLLED					
				LOCATION	QUANTITY		FAN TAG	TYPE	Φ	HP	VOLT	FLA
1		DCV-1111	Utility Cabinet Left	03 – Utility Cabinet Left	1 Light	Smart Controls DCV	Supply	Supply	3	2,000	208	6.1
				Hood # 1	1 Fan		Exhaust	Exhaust	3	3,000	208	9.5

Field Connection to Router or Ethernet Switch
OR Factory Wired Connection to Cellular Kit



CASlink Monitor and Control

- Hood control panel to support communications to cloud-based Building Management System.
- Hood Control Panel to allow cloud-based Building Management System to monitor real time parameters outlined as MONITOR in the points list.
- Hood Control Panel to allow cloud-based Building Management System to control parameters outlined as CONTROL in the points list.
- Hood control panel to allow remote changes to system setting such as: VFD Frequencies, ECM speeds, temperature set points, fan and wash schedules, etc.

MONITORING AND CONTROL POINTS LIST

DCV Packages	Function	SC Packages	Function
Room Temperature	MONITOR	Room Temperature(s)	MONITOR
Duct Temperature(s)	MONITOR	Duct Temperature(s)	MONITOR
MUA Discharge Temperature	MONITOR	MUA Discharge Temperature	MONITOR
Kitchen RTU Discharge Temperature	MONITOR	Kitchen RTU Discharge Temperature	MONITOR
Fan Speed	MONITOR	Controler Faults	MONITOR
Fan Amperage	MONITOR	Fan Faults	MONITOR
Fan Power	MONITOR	Fan Status	MONITOR
VFD Faults	MONITOR	PCU Faults	MONITOR
Controler Faults	MONITOR	PCU Filter Clog Percentages	MONITOR
Fan Faults	MONITOR	Fire Condition	MONITOR
Fan Status	MONITOR	CORE Fire System	MONITOR
PCU Faults	MONITOR	Building Pressures	MONITOR
PCU Filter Clog Percentages	MONITOR	Fans Button(s)	MONITOR & CONTROL
Fire Condition	MONITOR	Lights Button(s)	MONITOR & CONTROL
CORE Fire System	MONITOR	Wash Button	MONITOR & CONTROL
Building Pressures	MONITOR		
Prep Time Button	MONITOR & CONTROL		
Fans Button	MONITOR & CONTROL		
Lights Button	MONITOR & CONTROL		
Wash Button	MONITOR & CONTROL		

Fire System Information – Job#4458151

FIRE SYSTEM NO	Tag	TYPE	SIZE	FLOW POINTS	INSTALLATION	
					SYSTEM	LOCATION ON HOOD
1		Ansul R102	3.0/3.0	4	Wall Mount Left	N/A

GAS VALVE(S)

FIRE SYSTEM NO	TAG	TYPE	SIZE	SUPPLIED BY
1		Mechanical	2,000	CaptiveAire Systems

Fire System Parts List Key

FIRE SYSTEM NO	TAG	KEY NUMBER – PART DESCRIPTION	QTY BY FACTORY	QTY BY DIST
1		0 – 0 – 43-15733 AIR CYLINDER ASSEMBLY – Air Cylinder and Tubing for Mechanical Gas Valves (Ansul Part #15733)	1	0
		0 – 0 – DISC UNION Bursting Disc Union Assembly for Manifold System.	1	0
		1 – 1 – AT – 3.0 TANK(#B) – 3.0 Gallon SS Tank (for use with Automan Release, Actuator, or SS Enclosure (UL/ULC)) Macola # 01-429862	2	0
		2 – 2 – AP – AR AUTOMAN RELEASE – Ansul Automan Mechanical Release (UL). Tank sold separately. Ansul Part # 429853; Macola # 01-429853	1	0
		3 – 3 – AP – AE ENCLOSURE – Stainless Steel Enclosure Assembly (UL), Ansul Part # 429870; Macola # 01-429870	1	0
		5 – 5 – LIQ-3.0 AGENT – Ansulex Low PH Wet Chemical Agent, 3 Gallon (UL) 79372	2	0
		9 – 9 – DT-CART Double Tank Nitrogen Cartridge	1	0
		10 – 10 – TLINK LINK – Test Link (1 test link) Ansul Part # 24916, Macola # 20-24916	1	0
		11 – 11 – MICRO-SDA MICROSWITCH KIT– Includes 2 switches and Mounting Hardware. Single Dual Electric Switch, One Standard Switch, One Alarm Duty Switch Ansul Part # 437155, Macola # 08-437155	1	0
		12 – 12 – HOSEGROMMET HOSE – Hose/Grommet Package	1	0
		27 – 27 – QPSA-1/2 PULLEY SEAL – 1/2" Hood Seal (UL) Ansul Part # 423253, Macola # 32-79768	1	0
		34 – 34 – RPS-A REMOTE PULL STATION – Red composite (without wire rope) 434618 (Old Macola #06-4835)	1	0
		35 – 35 – PE-LT PULLEY ELBOW – Low Temp. Pulley Elbow, Set Screw Type Ansul Part # 415670, Macola # 11-415671	10	0
		36 – 36 – PE-HT PULLEY ELBOW – High Temp Pulley Elbow, Compression Type, Ansul Part # 423251, Macola # 10-45771	1	0
ADDITIONAL PARTS TO BE DETERMINED...				

PROFESSIONAL STATEMENT: TO THE BEST OF THEIR SKILLS AND KNOWLEDGE, THE ENGINEER HAS REVIEWED THE SUBMITTALS AND SPECIFICATIONS COMPARE WITH THE APPLICABLE MINIMUM REQUIREMENTS AND THE APPLICABLE MINIMUM REQUIREMENTS. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTALS AND SPECIFICATIONS. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO THEM. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTALS AND SPECIFICATIONS. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO THEM.

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 Safety Harbor, Florida 34695
 Engineering Business No. 9204
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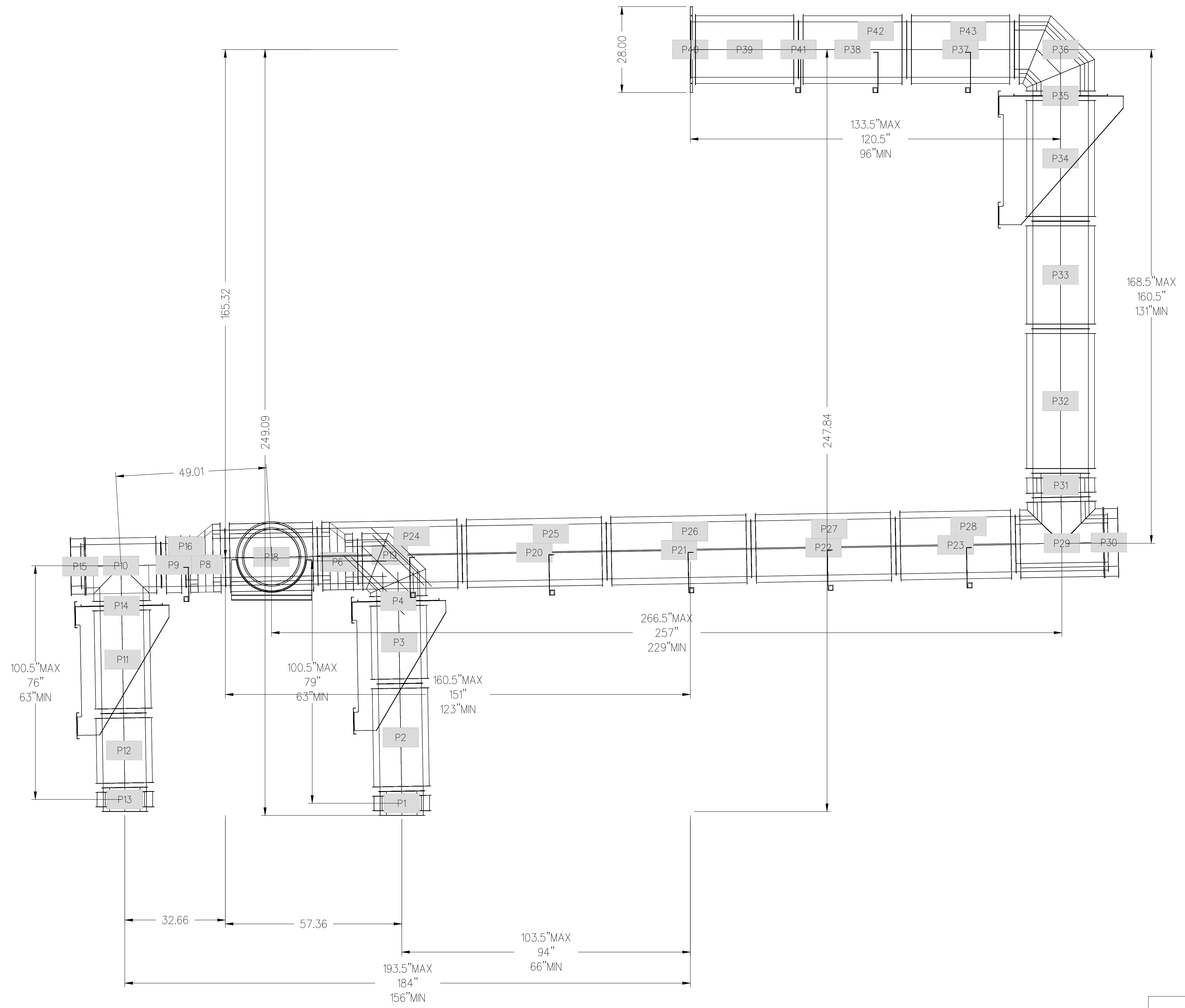
EXTERIOR POOL & BAR ADDITION
 2348 CENTRAL AVENUE, ST PETERSBURG, 33713
 PWS TITLE: **HOOD ELECTRICAL/FIRE CONTROL**

LANG + FERROGLIA
ARCHITECTURE | DEVELOPMENT
 FL LICENSE #AF100758 / AIA REGISTRATION #39211570
 6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
 TEL: (727) 666-6677

DRAWN BY: BMD
DATE: 7-29-20
PROJECT #: 20085
SHEET: M2.5

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DuctWork #1 Front View
Hood-1 Exhaust



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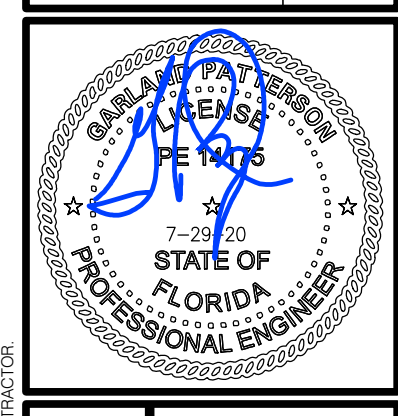
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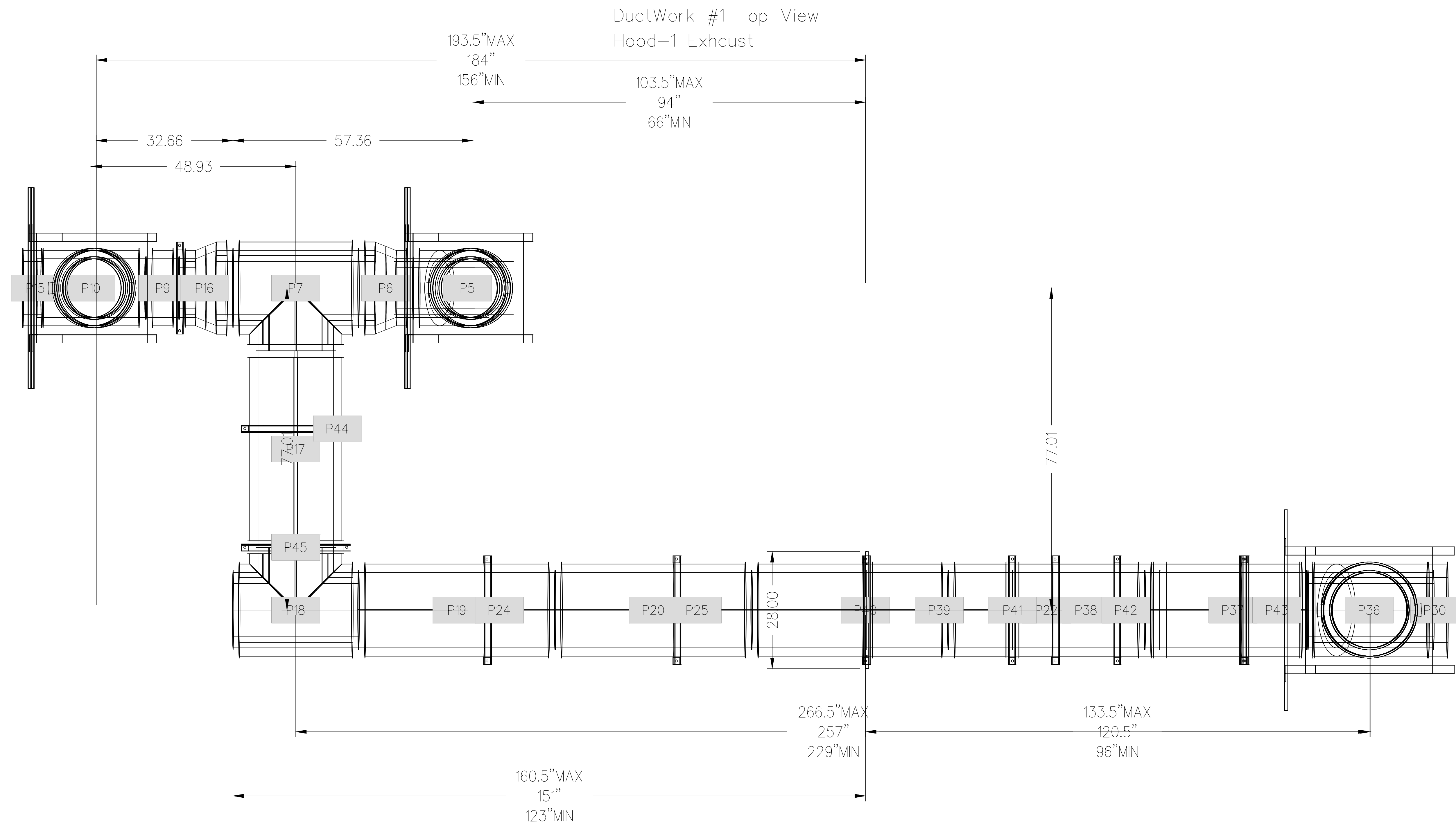
DWG. TITLE: HOOD DUCT DIAGRAM



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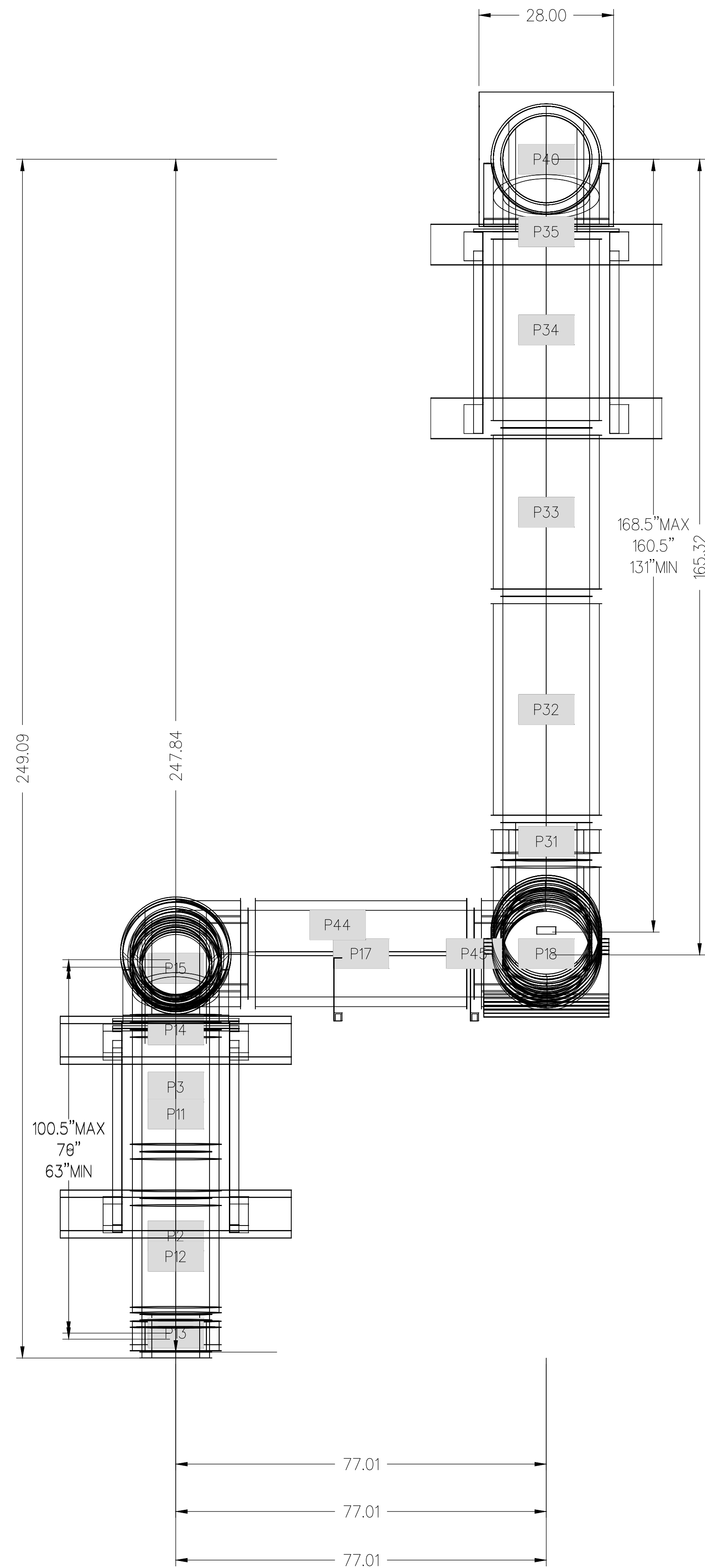
NO.	DATE	DESCRIPTION

EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 HOOD DUCT DIAGRAM

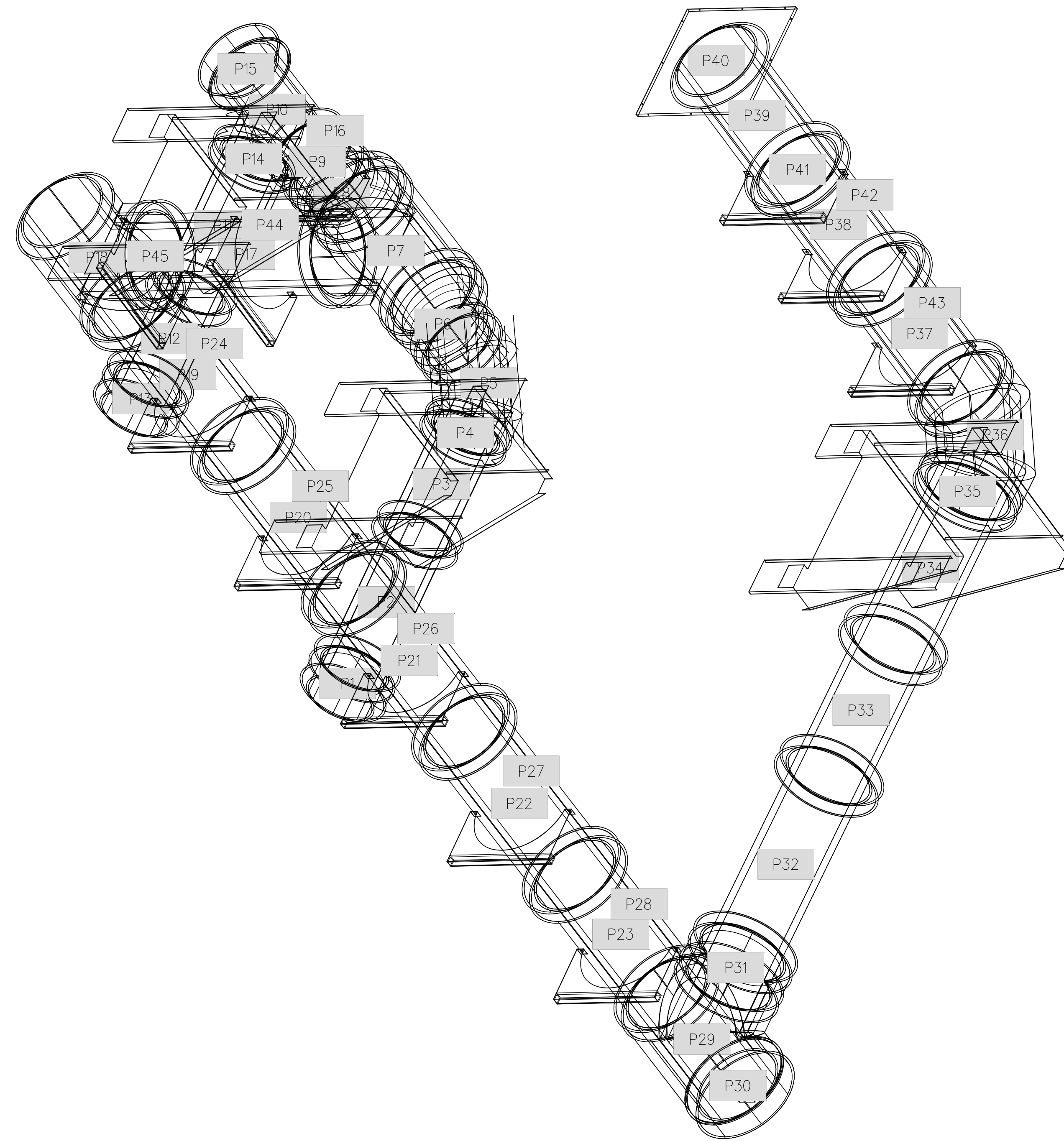
DRAWN BY: BMD
 DATE: 7-29-20
 PROJECT #: 20085

M2.8

DuctWork #1 Side View
Hood-1 Exhaust



DuctWork #1 SE View
Hood-1 Exhaust



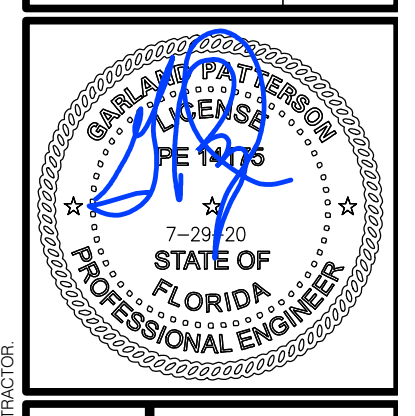
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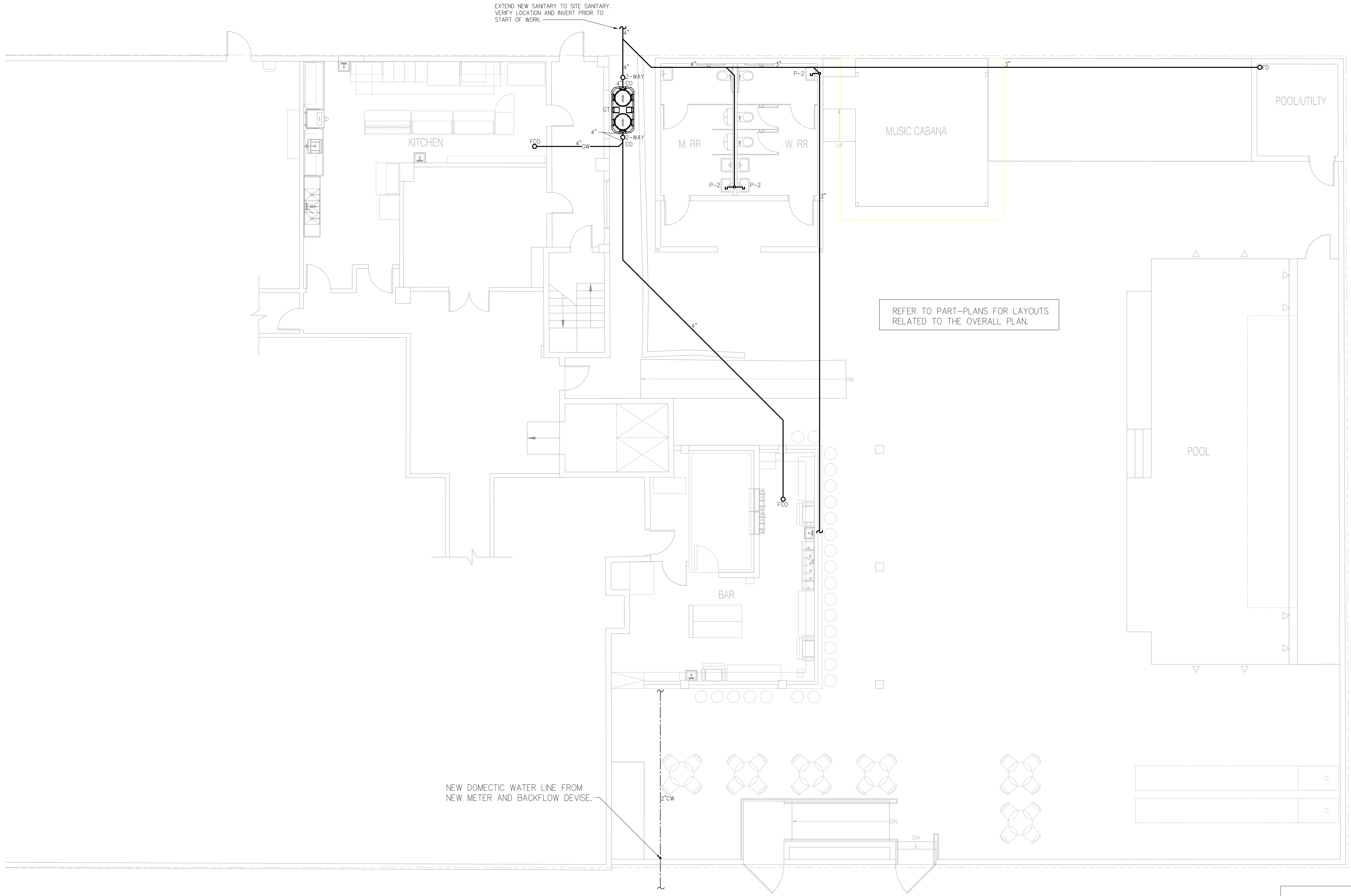
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CONTRACTOR

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713
DWG. TITLE: HOOD DUCT DIAGRAM



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PROJECT #:	20085
SHEET:	M2.9



1 OVERALL PLUMBING PLAN
 P.I.O SCALE: 1/4" = 1'-0"

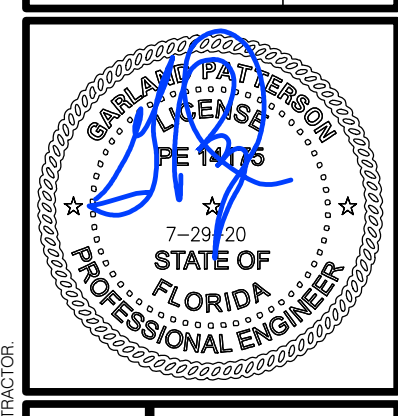
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EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 DWG. TITLE: PLUMBING PLANS



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PROJECT #:	20085
SHEET:	P1.0

GREASE TRAP CALCULATIONS

(1) 4 COMP. SINK #B8
EA. BASIN IS 10"x14"x6"

(1) 3 COMP. SINK #K14
EA. BASIN IS 18"x22"x6"

(1) DISH TABLE W/ SINK #K15 16"x20"x8"

(1) CHEMICAL DW #623, 80 RACKS/HR.,
118.4 GPH, 3 GPM PER 90 SEC. CYCLE
OR 1.97 GPM.

GAL./MIN. CALCULATIONS FOR 4CS #B8
[10x14x6] [3] = 2,520 C.C.
[2,520 C.C.] [.75] = 1,890 C.C.
[1,890] / [231] = 8.18 GAL./MIN.

GAL./MIN. CALCULATIONS FOR 3CS #K14
[18x22x6] [3] = 7,128 C.C.
[7,128 C.C.] [.75] = 5,346 C.C.
[5,346] / [231] = 23.14 GAL./MIN.

GAL./MIN. CALCULATIONS FOR DT #K15
[20x20x6] [1] = 2,400 C.C.
[2,400 C.C.] [.75] = 1,800 C.C.
[1,800] / [231] = 7.79 GAL./MIN.

MISCELLANEOUS FLOW FROM FD'S & FS'S
WE ARE ADDING A FLOW OF 15 GPM FOR MISC.
FLOW TO THIS CALCULATION FOR THE ABOVE
FIXTURES.

TOTAL = 56.08 GAL./MIN.
MIN. SIZE GREASE TRAP TO BE 100 GAL./MIN.

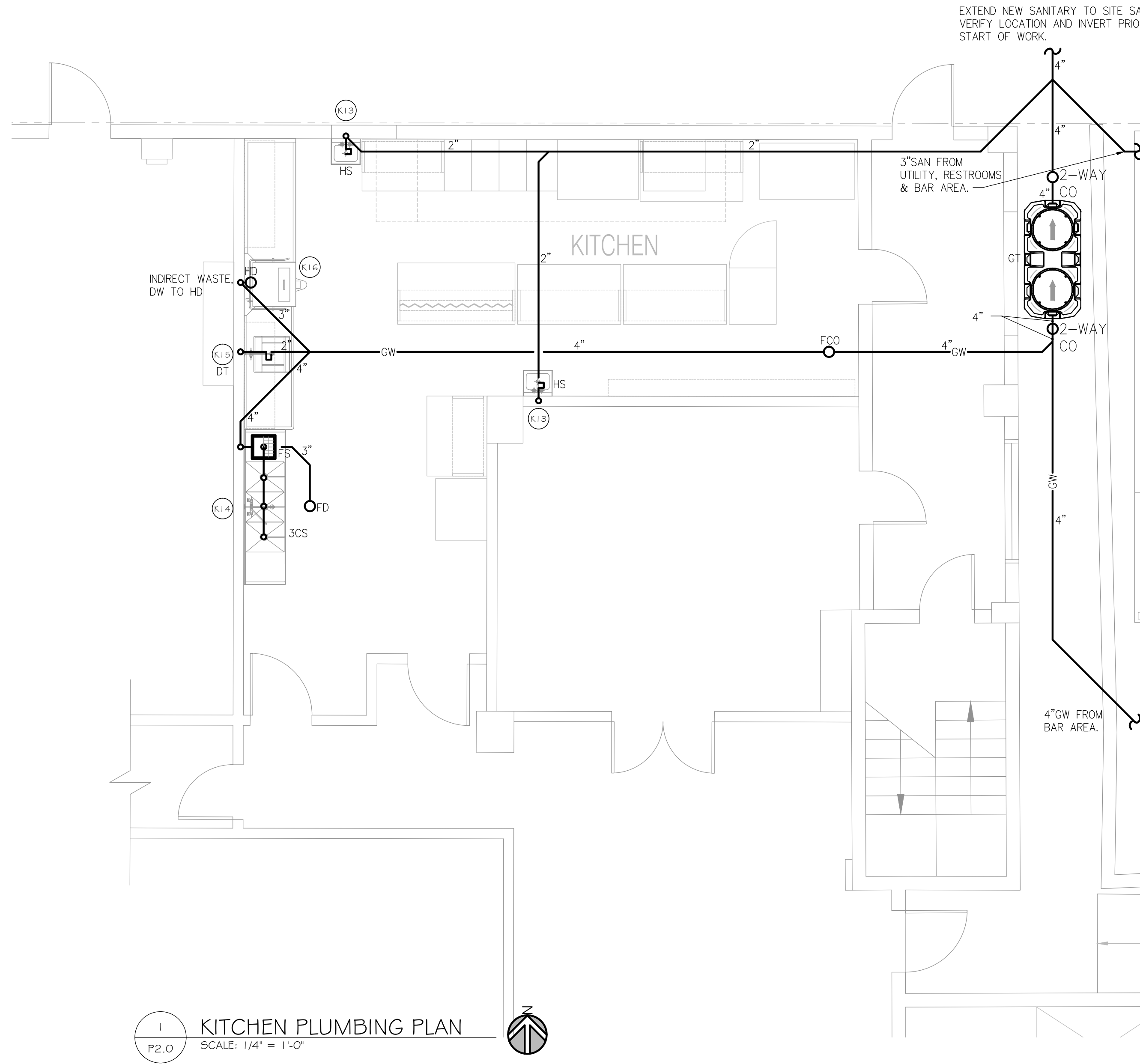
PROVIDED: SCHIER GB-250, 200 GPM -
IN COMPLIANCE.

PLUMBING LEGEND

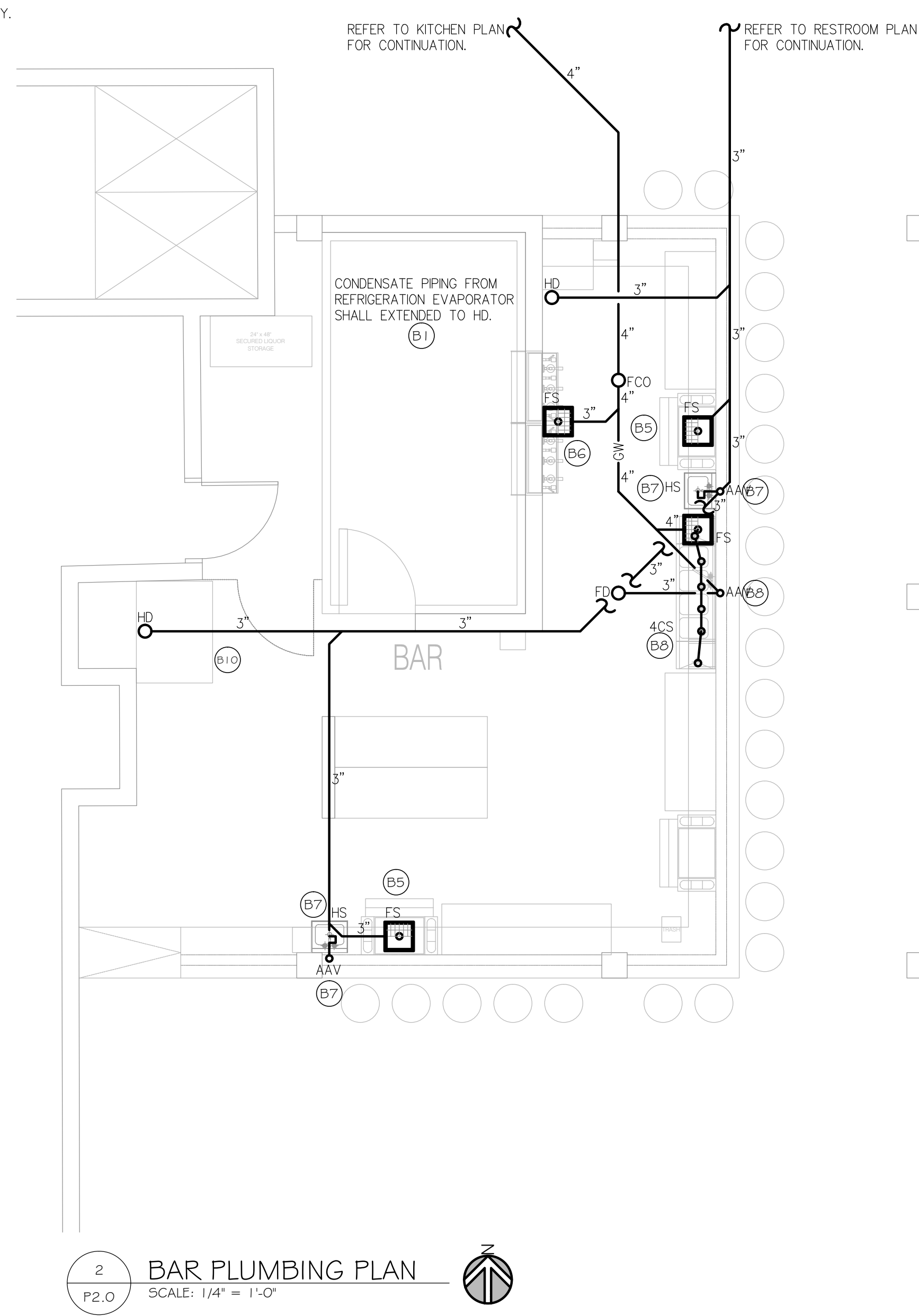
SANITARY _____

GREASE WASTE _____

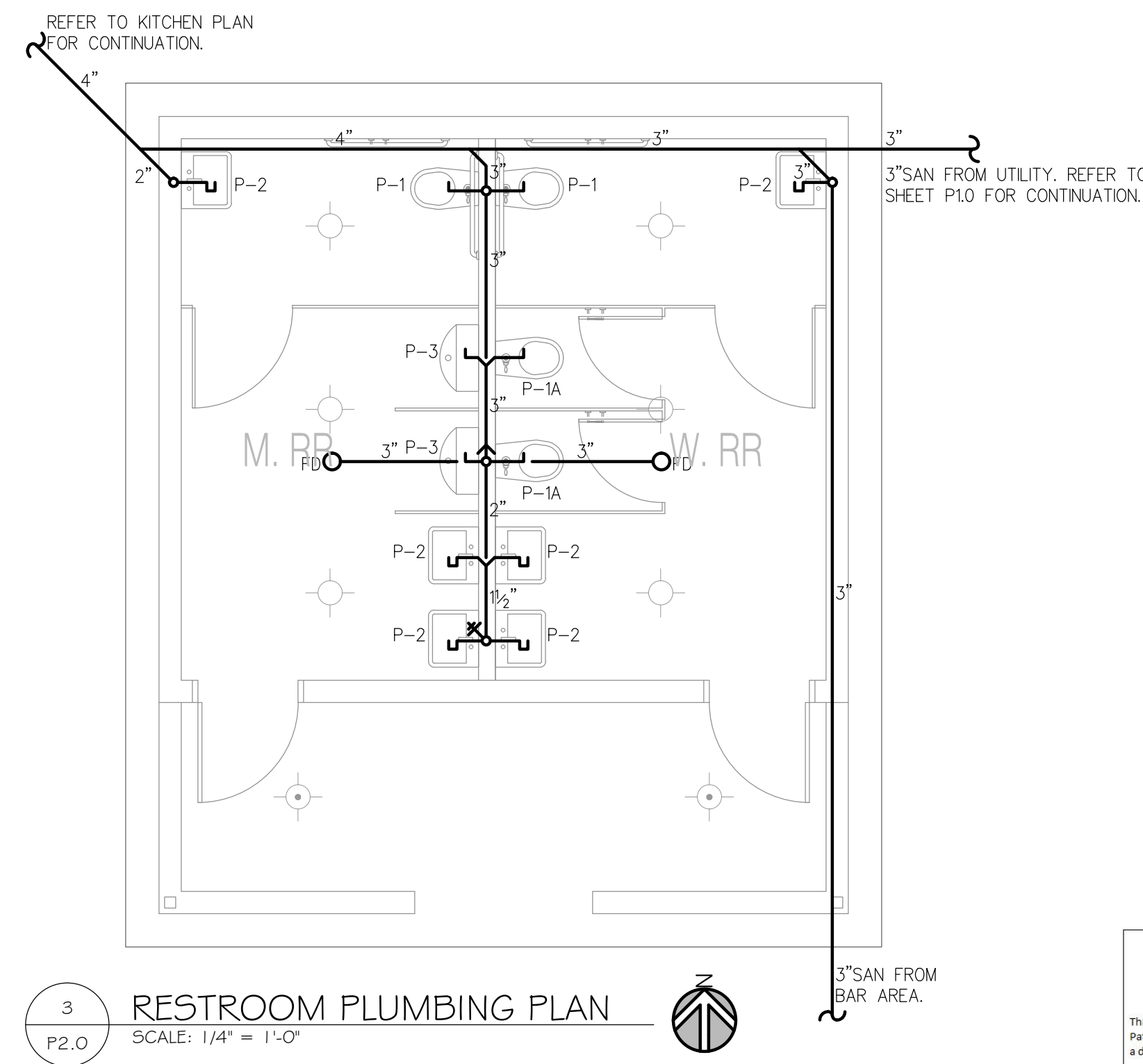
_____ CW _____



1 KITCHEN PLUMBING PLAN
SCALE: 1/4" = 1'-0"



2 BAR PLUMBING PLAN
SCALE: 1/4" = 1'-0"



3 RESTROOM PLUMBING PLAN
SCALE: 1/4" = 1'-0"

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PLUMBING SANITARY & GREASE WASTE PLANS

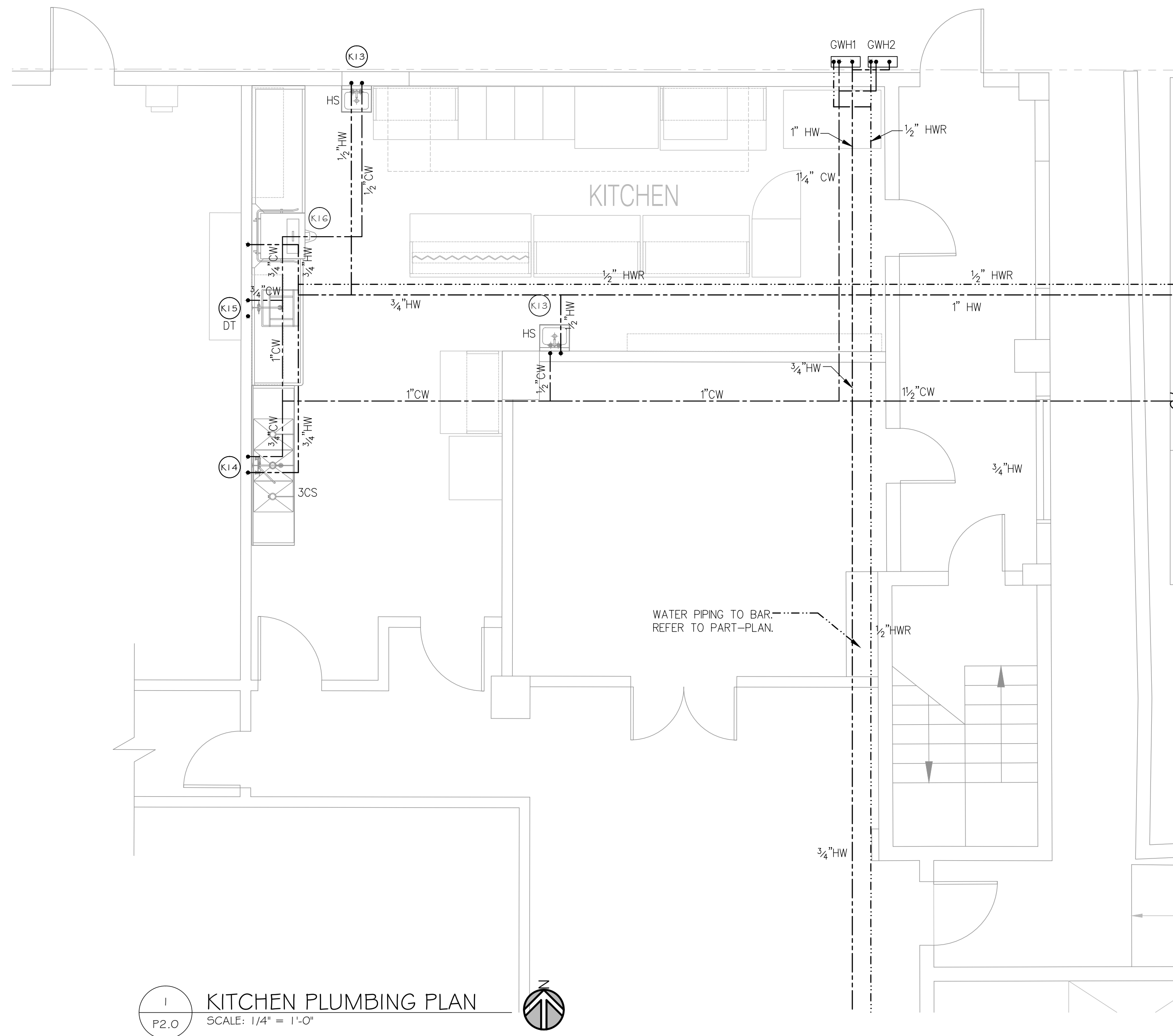
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6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
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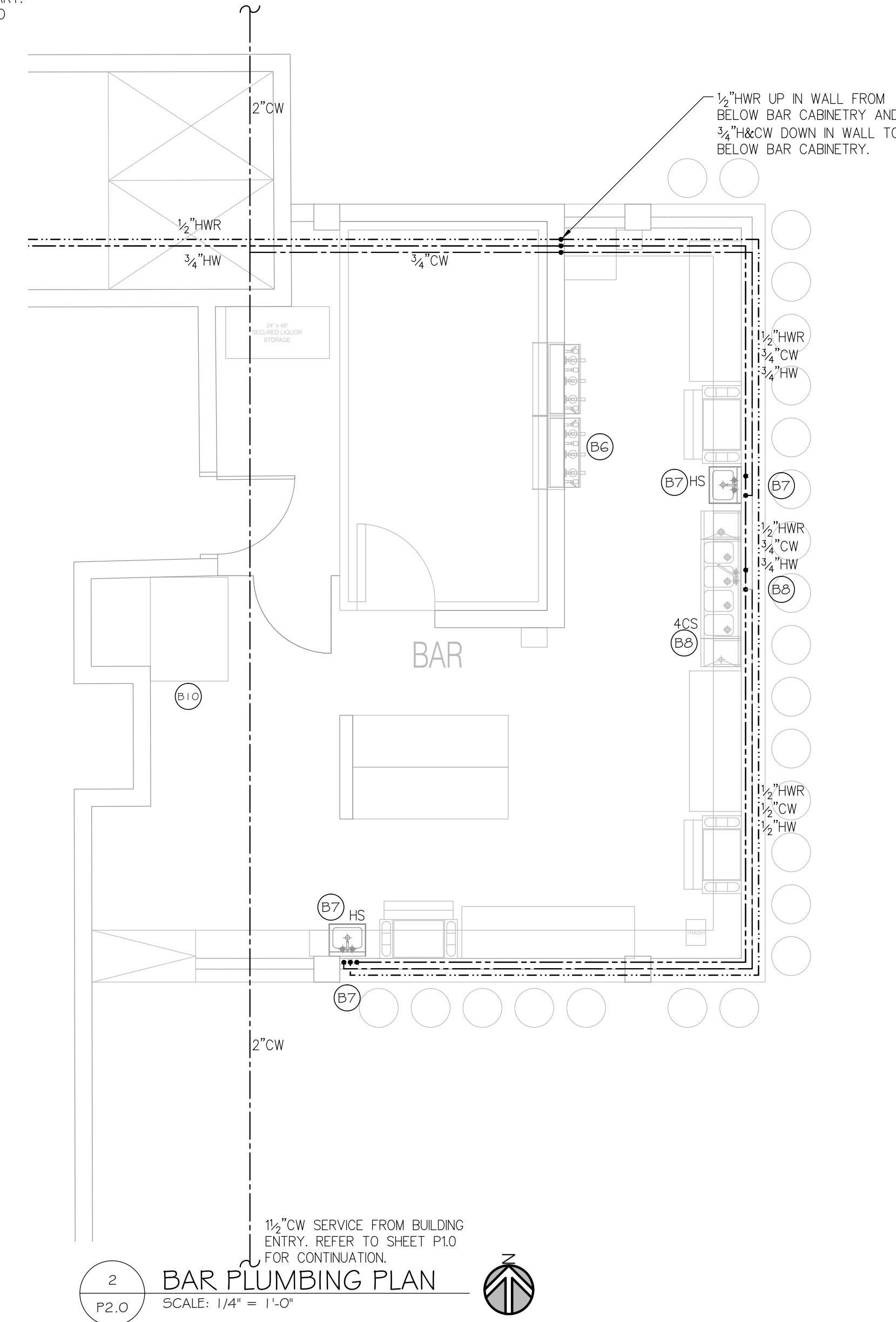
SHEET: P2.0

PLUMBING LEGEND

COLD WATER	---
HOT WATER	---
HOT WATER RETURN	---



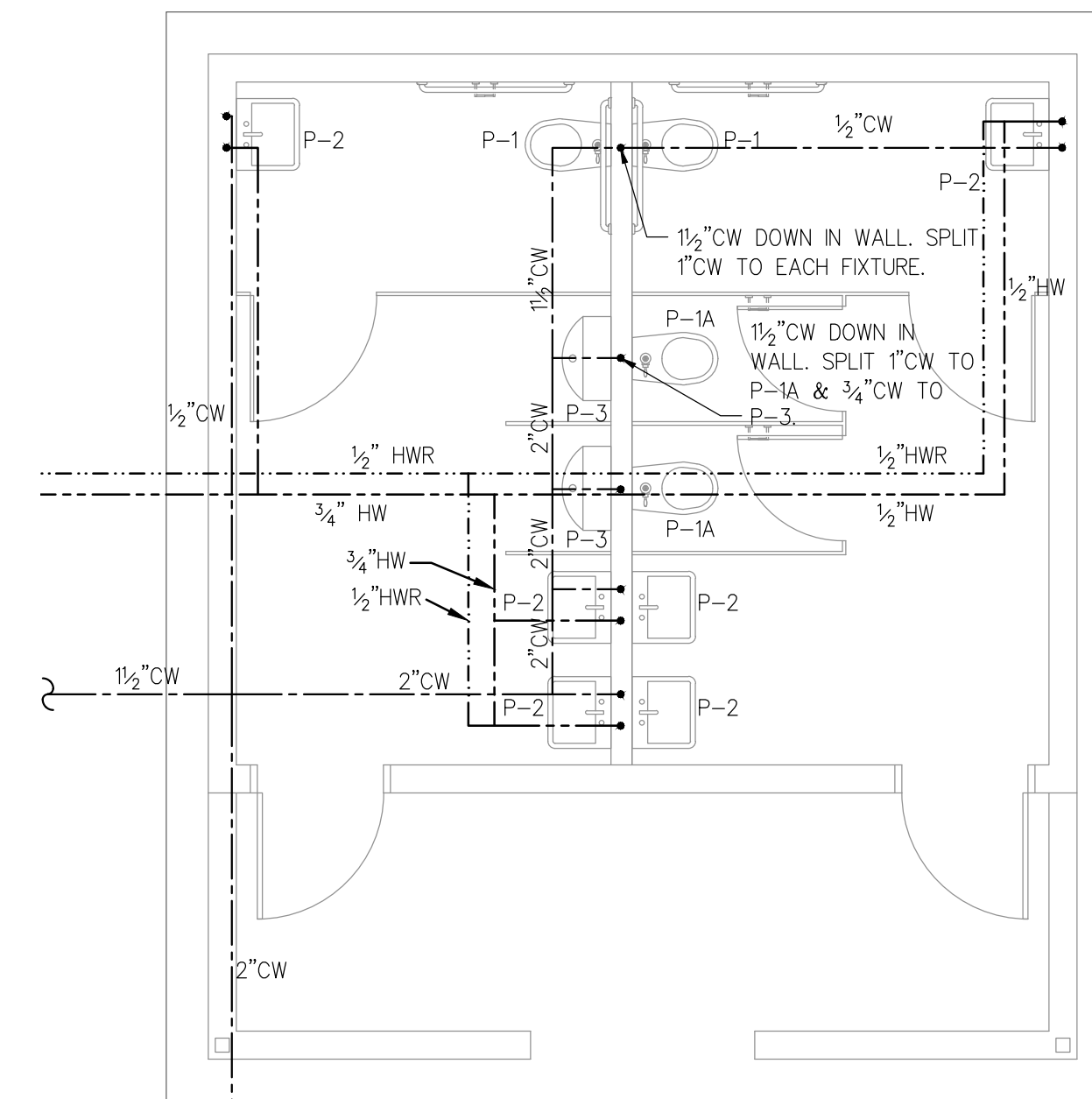
1 KITCHEN PLUMBING PLAN
P2.0 SCALE: 1/4" = 1'-0"



2 BAR PLUMBING PLAN
P2.0 SCALE: 1/4" = 1'-0"

WATER DEMAND SCHEDULE

FIXTURE	CW FIXTURE UNITS EACH	HW FIXTURE UNITS EACH	FIXTURE UNIT TOTAL EACH	QUANTITY EACH	FIXTURE UNIT TOTAL - ALL
WATER CLOSET - FLUSH VALVE	10.0	-0-	10.0	4	40
LAVATORY	1.5	1.5	2.0	6	12
URINAL	5.0	-0-	5.0	2	10
HAND SINKS (2)#B7 (2)K13	1.5	1.5	2.0	4	8
4 COMP. SINK #BB	3.0	3.0	4.0	1	4
3 COMP. SINK #K14	3.0	3.0	4.0	1	4
DISH TABLE W/ SINK #K15	2.25	2.25	3.0	1	3
DISHWASHER #K16	3.0	3.0	4.0	1	4
MOP BASIN	2.25	2.25	3.0	1	3
TOTAL FIXTURE UNITS					88
TOTAL GPM					63.68
REQUIRED WATER LINE SIZE:					2"



3 RESTROOM PLUMBING PLAN
P2.0 SCALE: 1/4" = 1'-0"

EXTEND NEW SANITARY TO SITE SANITARY. VERIFY LOCATION AND INVERT PRIOR TO START OF WORK.

WATER PIPING TO BAR REFER TO PART-PLAN.

1/2" HW UP IN WALL FROM BELOW BAR CABINETRY AND 3/4" HW DOWN IN WALL TO BELOW BAR CABINETRY.

1 1/2" CW SERVICE FROM BUILDING ENTRY. REFER TO SHEET P10 FOR CONTINUATION.

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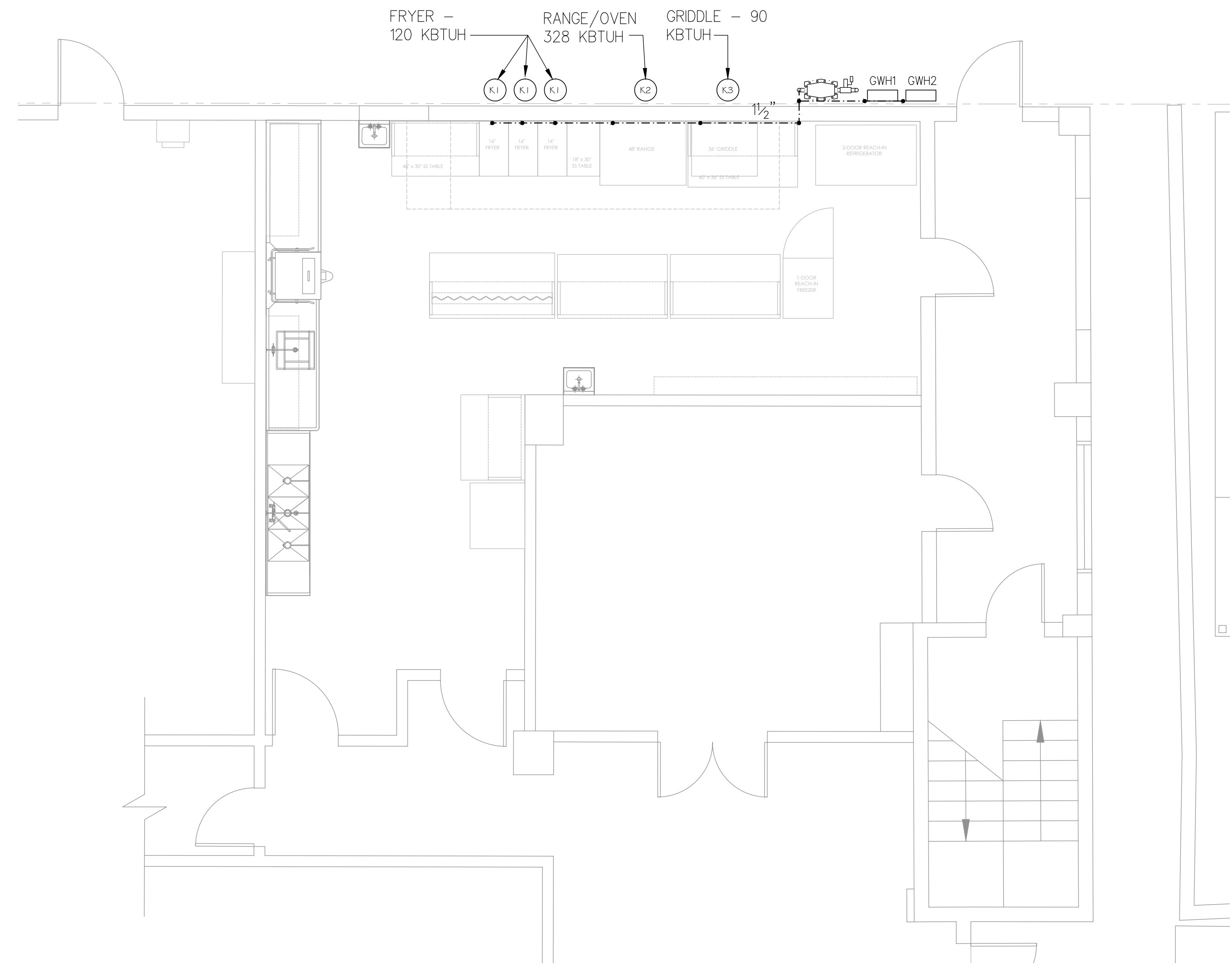
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Professional Engineer
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NO.	DATE	DESCRIPTION

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

CREW BY: BMD
DATE: 7-29-20
PROJECT #: 20085
SHEET: P3.0



1 KITCHEN PLUMBING GAS PLAN
 P2.0 SCALE: 1/4" = 1'-0"

GAS DEMAND SCHEDULE	
GAS APPLIANCE	BTUH
FRYER #K1 3 @ 120,000 BTUH EA.	360,000 BTUH
RANGE & OVEN	328,000 BTUH
GRIDDLE	90,000 BTUH
GWH1	199,000 BTUH
GWH2	199,000 BTUH
TOTAL BTUH:	1,176,000 BTUH
REQUIRED LINE SIZE:	2"

NOTES:
 1. GAS PIPING IS SIZED BASED ON A 70 FOOT DEVELOPED LENGTH OF PIPE
 2. GAS PIPING IS SIZED BASED ON 2017 FLORIDA FUEL GAS CODE TABLE 402.4(2).
 3. BTUH RATINGS ARE AS CALCULATED BY THE MANUFACTURER.
 4. GAS PIPING IS SIZED FOR A DELIVERY OF LESS THAN 2 PSI WITH A .5" WC PRESSURE DROP.
 5. ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL, WELDED AND SEAMLESS.
 6. ALL BRANCH TAPS FROM MAINS MUST BE MADE OFF THE TOP OF THE PIPE.
 7. GAS PIPING AND INSTALLATION WILL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE - FUEL GAS AND ALL APPLICABLE CODES AND REGULATIONS.
 8. PROVIDE PRESSURE REGULATING VALVE TO ADJUST GAS LINE PRESSURE IN ORDER TO ACCOMMODATE TOTAL BTUH DEMAND.

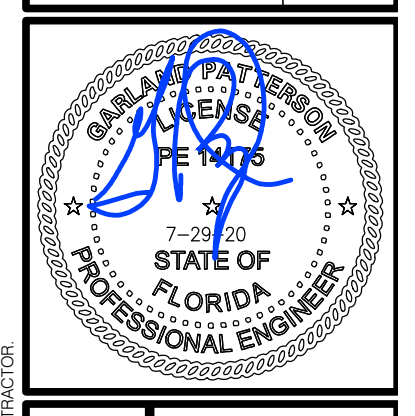
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 I, THE UNDERSIGNED, AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.
 I HAVE REVIEWED THESE PLANS AND SPECIFICATIONS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THE INFORMATION PROVIDED HEREON.
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 Ft. Lauderdale, FL 33309
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EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 DWG. TITLE: KITCHEN PLUMBING GAS PLAN



LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT
 FL LICENSE #AR100759 / AIA REGISTRATION #39211570
 6 BELLEVUE DRIVE, TREASURE ISLAND, FL 33706
 TEL: (727) 666-5677

DRAWN BY:	BMD
DATE:	7-29-20
PROJECT #:	20085
SHEET:	P4.0

SPECIFICATIONS

1. Inlet/outlet Sch. 40 Plain End (No-Hub)
2. Max. flow rate: 200 GPM
3. Liquid capacity: 275 Gallons
4. Max. grease capacity: 1,196 lbs.
5. Max. solids/sediment capacity: 21 Gallons
6. Unit weight w/std. covers: 230 lbs.
7. Highway rated (6,000 lb. load) or Pedestrian rated (2,000 lb. load) dished, gas/water composite covers (choose one).
8. Maximum operating temperature 190°F continuous.
9. Seamless molded polyethylene tank.

NOTES

1. Listed by IAPMO to ASME grease interceptor standard #A112.14.3 and CSA B481.1
2. Factory installed Built-in Flow control.
3. For gravity drainage applications only. Do not use for pressure applications.
4. Seamless high density polyethylene tank.
5. Unit supplied with built-in adapter(s) for up to 6" of adjustability. Additional riser(s) available for deeper burial depth.
6. Cover placement allows full access to tank for proper maintenance.
7. Vent not required unless per local code.
8. Narrow footprint allows clearance through doorways and down stairwells.
9. Engineered inlet and outlet diffusers are removable to inspect/clean piping.
10. For on-the-floor or buried applications.
11. Integral air relief / Anti-siphon / Sampling access.
12. Three outlet options for easy rough in. Unit shipped with outlet diffuser in outlet "B".

DIFFUSION FLOW TECHNOLOGY

The inlet diffuser splits incoming effluent into two paths that utilize the entire liquid volume of the tank for efficient grease separation. The calibrated openings greatly reduce effluent turbulence. The effluent enters the main chamber without disturbing the existing grease or sediment layers.

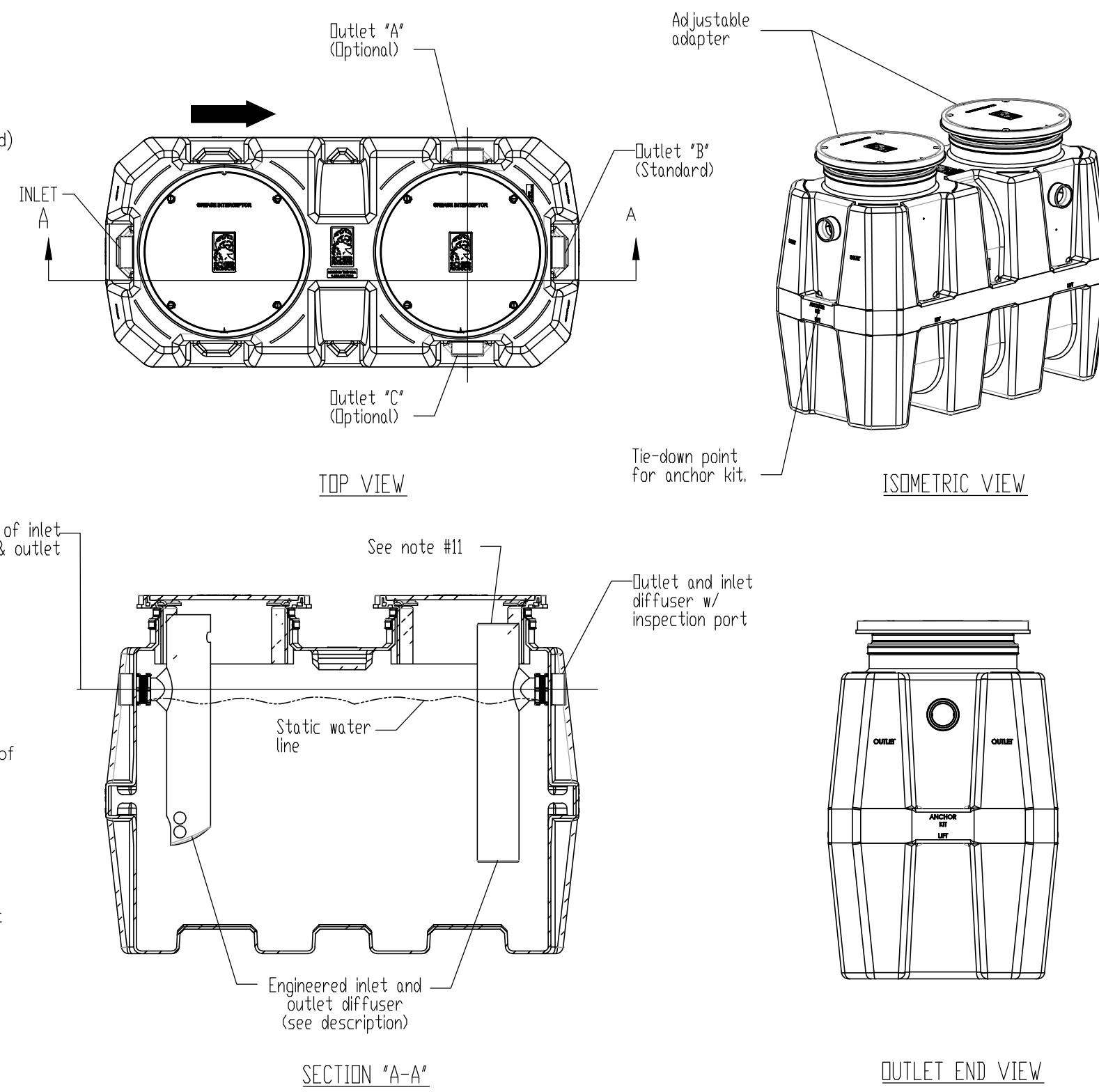
The integral air relief / anti-siphon in the top of the outlet diffuser allows pressure stabilization within the unit during operation. The bottom of the outlet diffuser allows only effluent which is free of grease to exit the tank. It can easily be attached to any of the three outlets provided to ease jobsite piping layouts.

ENGINEER SPECIFICATION GUIDE

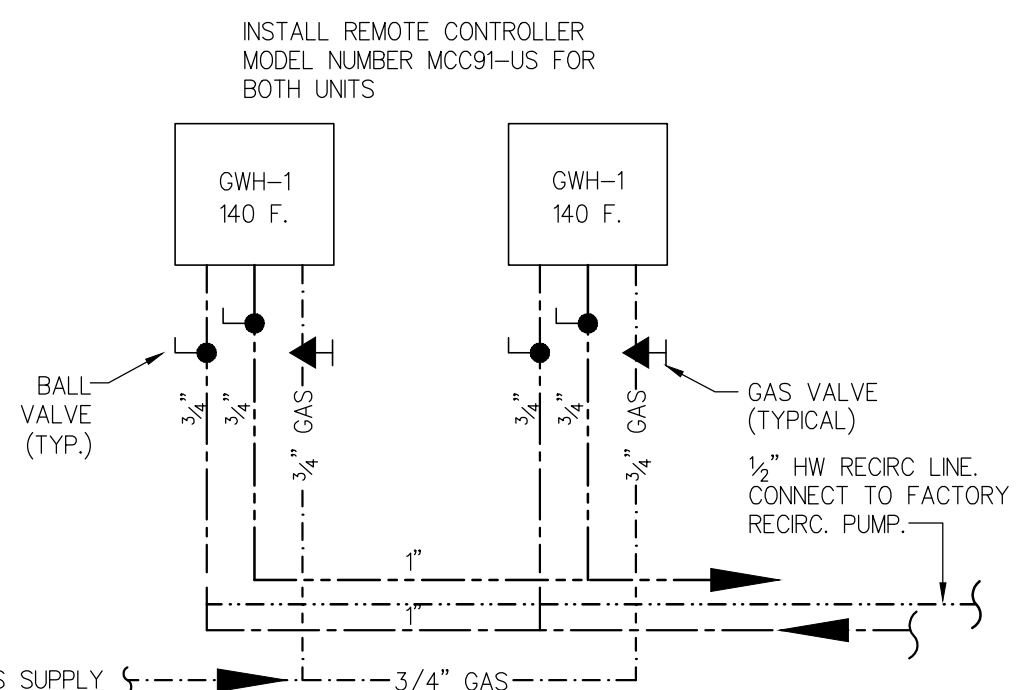
Scher Great Basin grease interceptor model # GB-250 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded High Density Polyethylene. Interceptor shall be furnished for above or below grade installation. Interceptor shall be certified to ASME A112.14.3 (type C) and CSA B481.1, with field adjustable riser system, built-in flow control, built-in test caps and three outlet options. Interceptor flow rate shall be 100 GPM. Interceptor grease capacity shall be 1,076 lbs. Cover shall provide water/gas-light seal and have minimum 2,000 lbs. load capacity.

OPTIONS:

- Highway Rated cover: 16,000 lb. capacity
- Pedestrian rated cover: 2,000 lb. capacity
- teleguide field adjustable risers for extending covers to grade
- Male pipe thread connections
- 1" plain end pipe connections (inlet/Outlet "B" only)
- High water anchor kit
- Clamping collar kit

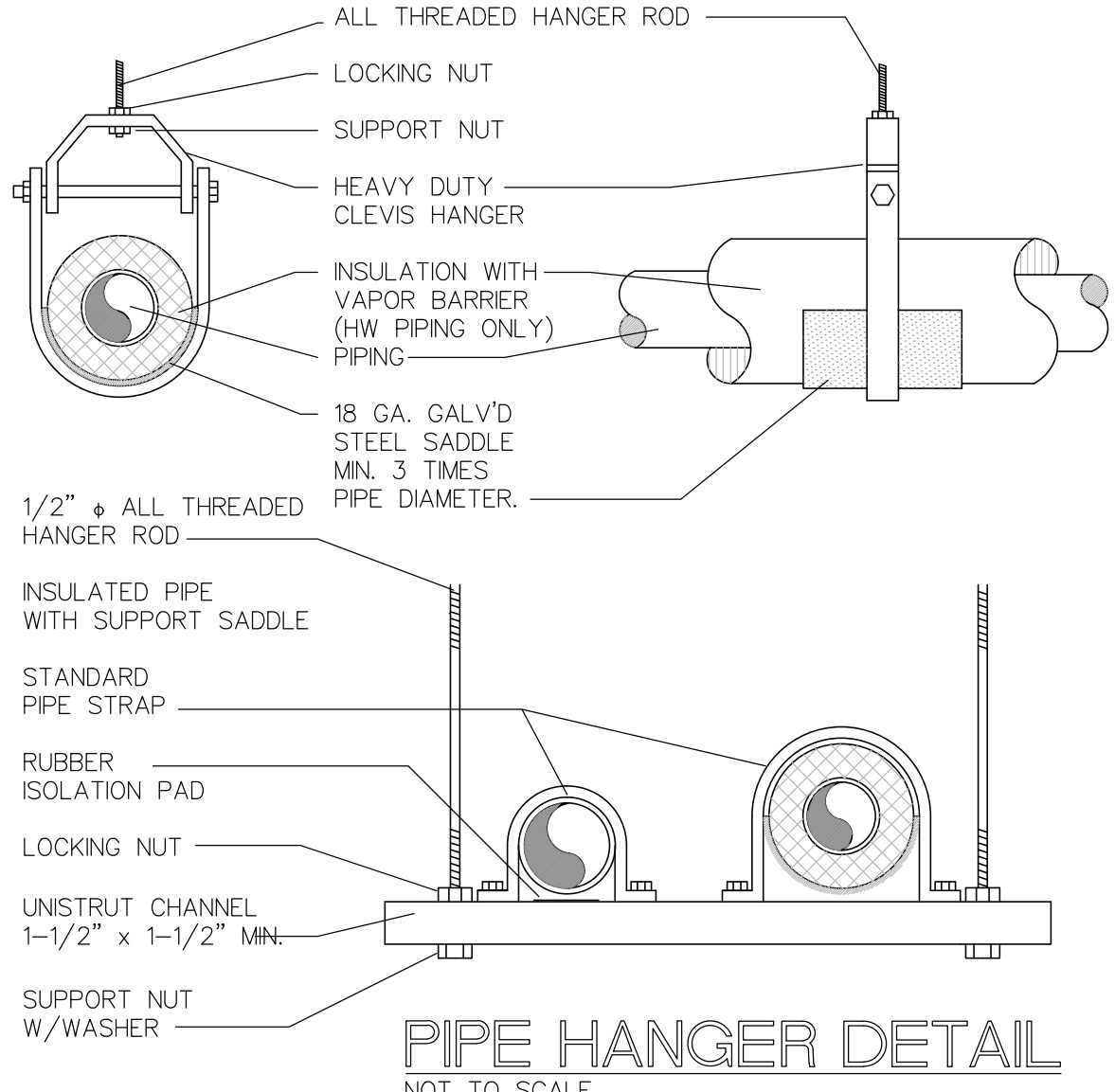


GREASE INTERCEPTOR DETAIL
N.T.S.



GAS WATER HEATER SCHEDULE						
MARK	MAKE & MODEL NO.	QUAN.	BTUH INPUT	GPH @ 95°F	GPM @ 70°F	REMARKS
GWH-1	RINNAI RU98e	1	199,900 EA	4.0 EA.	5.4 EA.	NATURAL GAS
GWH-2	RINNAI RU98e	1	199,900 EA	4.0 EA.	5.4 EA.	NATURAL GAS

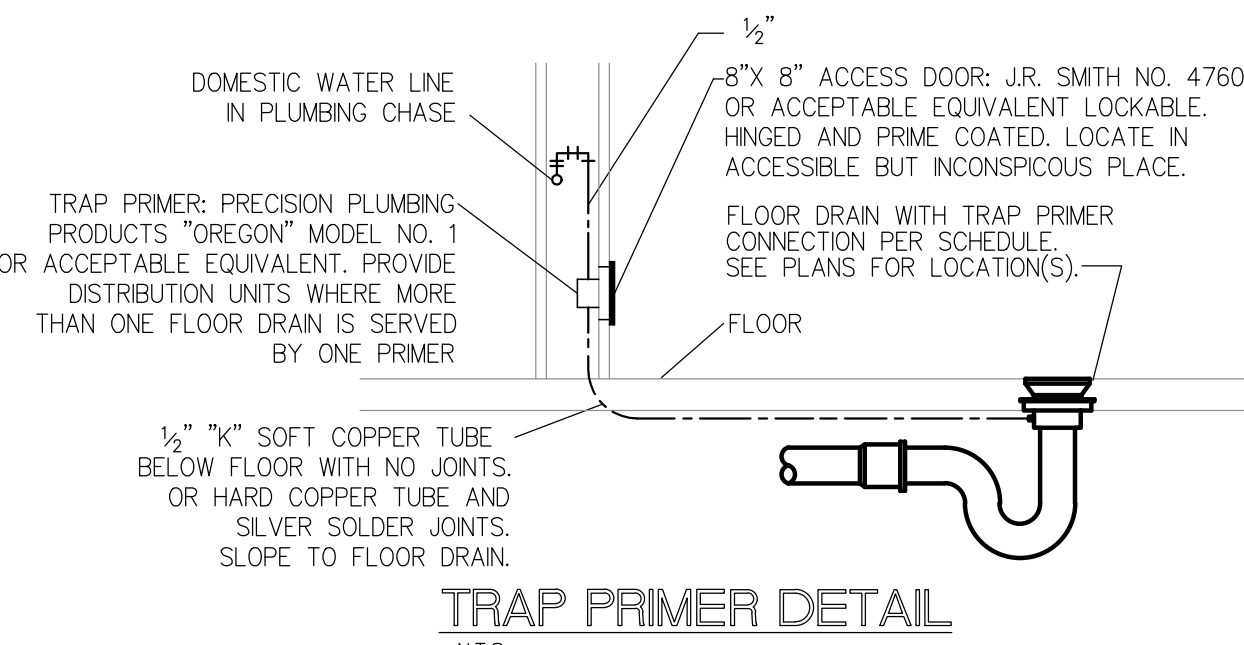
NOTE: PROVIDE RINNAI FACTORY RECIRCULATION PUMP. VERIFY HEAD AND TOTAL PIPING DISTANCE PER PLANS IS ACCEPTABLE BY RINNAI PRIOR TO BID AND ORDER.



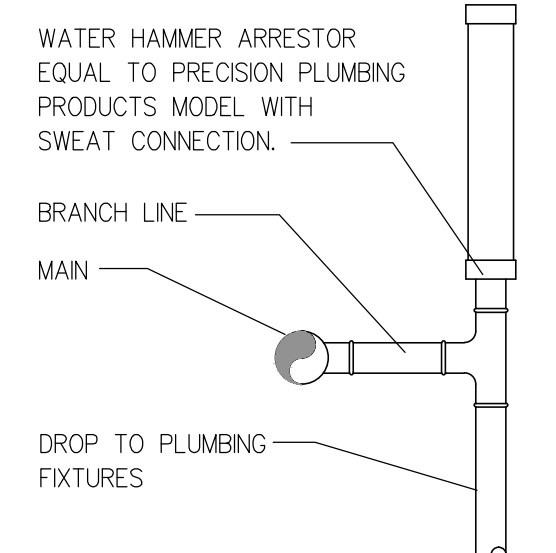
PIPE HANGER DETAIL
NOT TO SCALE

PLUMBING FIXTURE SCHEDULE

LABEL	FIXTURE	W	V	CW	HW	DESCRIPTIONS
P-1	WATER CLOSET ADA	3"	2"	1"	-	AMERICAN STANDARD "CADET" #3043.102, 16 GALLON FLUSH WITH OLSONTITE #95 OPEN FRONT SEAT LESS COVER, SLOAN #111 FLUSH VALVE.
P-1A	WATER CLOSET	3"	2"	1"	-	AMERICAN STANDARD "MADERA" #2234.015, 16 GALLON FLUSH WITH OLSONTITE #95 OPEN FRONT SEAT LESS COVER, SLOAN #111 FLUSH VALVE.
P-2	LAVATORY ADA	1 1/2"	2"	1/2"	1/2"	AMERICAN STANDARD LUCERNE #0355.012 WALL HUNG ADA LAVATORY, DELTA 523LF-HDF SINGLE LEVER FAUCET, CROME P-TRAP LESS CLEANOUT, BRASSCRAFT KT SERIES 1/4 TURN STOPS, WWIL SUPPLIES.
P-3	URINAL	2"	2"	3/4"	-	AMERICAN STANDARD 6501.010 "WASHBROOK" WITH BATTERY POWERED 0.5 GPF SELECTRONIC FLUSH VALVE MOUNT AT ADA HEIGHT.
HS #B7 #K13	HAND SINK	1 1/2"	2"	1/2"	1/2"	HAND SINK - PROVIDED BY KITCHEN EQUIPMENT SUPPLIER AND INSTALLED BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL POWERS HYDROGRADU SERIES 480 THERMOSTATIC TEMPERING VALVE WITH CHECK STOPS (AS REQUIRED BY STATE/LOCAL CODE) TO SUPPLY TEMPERED WATER AT 100°F FOR HAND SINK. LOCATE TEMPERING VALVE ON WALL UNDERNEATH HAND SINK.
4CS #B8	4-COMPARTMENT SINK	1 1/2"	2"	3/4"	3/4"	STAINLESS STEEL 3-COMPARTMENT SINK WITH FAUCET BY EQUIPMENT SUPPLIER. INSTALLED BY PLUMBER. PROVIDE 1/2" CP P-TRAPS, STOPS & SUPPLIES.
3CS #B4	3-COMPARTMENT SINK	1 1/2"	2"	3/4"	3/4"	STAINLESS STEEL 3-COMPARTMENT SINK WITH FAUCET BY EQUIPMENT SUPPLIER. INSTALLED BY PLUMBER. PROVIDE 1/2" CP P-TRAPS, STOPS & SUPPLIES.
DT #K15	DISH TABLE W/ SINK	1 1/2"	2"	3/4"	3/4"	SINK PROVIDED WITH KITCHEN FIXTURES REFER TO KITCHEN PLANS FOR SPECIFICATIONS.
TP	TRAP PRIMER	-	-	1/2"	-	PRECISION PLUMBING PRODUCTS MODEL P-2 WITH DISTRIBUTION UNIT
FS	FLOOR SINK	3"	2"	-	-	ZURN MODEL Z-1900-P-2 12" X 12" WITH DOME STRAINER, HALF GRATE AND TRAP PRIMER CONNECTION.
FD	FLOOR DRAIN	3"	2"	1/2"	-	ZURN MODEL Z-415-P WITH 6" DIAMETER TYPE 'B' NICKEL BRONZE STRAINER. RIM TO BE FLUSH WITH FINISHED FLOOR AND LEVEL. PROVIDE TRAP PRIMER CONNECTION.
RCP	RECIRCULATING PUMP	-	-	-	1/2"	GRUNDFOS MODEL UP15-29SU, 1/25 HP, 115 V., 1 PH., RATED AT 6 GPM AT 5' HEAD, BRONZE, IN-LINE PUMP. ALTERNATES TACO, BELL & GOSSET.
EWH	ELECTRIC WATER HEATER	-	-	3/4"	3/4"	A.O. SMITH DEL-40, 40 GALLON WATER HEATER, 4.5 K.W. @ 208 VOLT, 1 PHASE. ULL LISTED AND ASHRAE 90-A APPROVED.
GT	GREASE INTERCEPTOR	4"	2"	-	-	SCHER MODEL GB-250, 275 GALLON WATER CAPACITY, 1,196 POUND GREASE CAPACITY INTERCEPTOR. 200 GPM FLOW, POLYETHYLENE GREASE INTERCEPTOR
HB	HOSE BIBB	-	-	3/4"	-	JAY R. SMITH 5609 QT, NON-FREEZE WITH INTEGRAL VACUUM BREAKER.



TRAP PRIMER DETAIL
N.T.S.



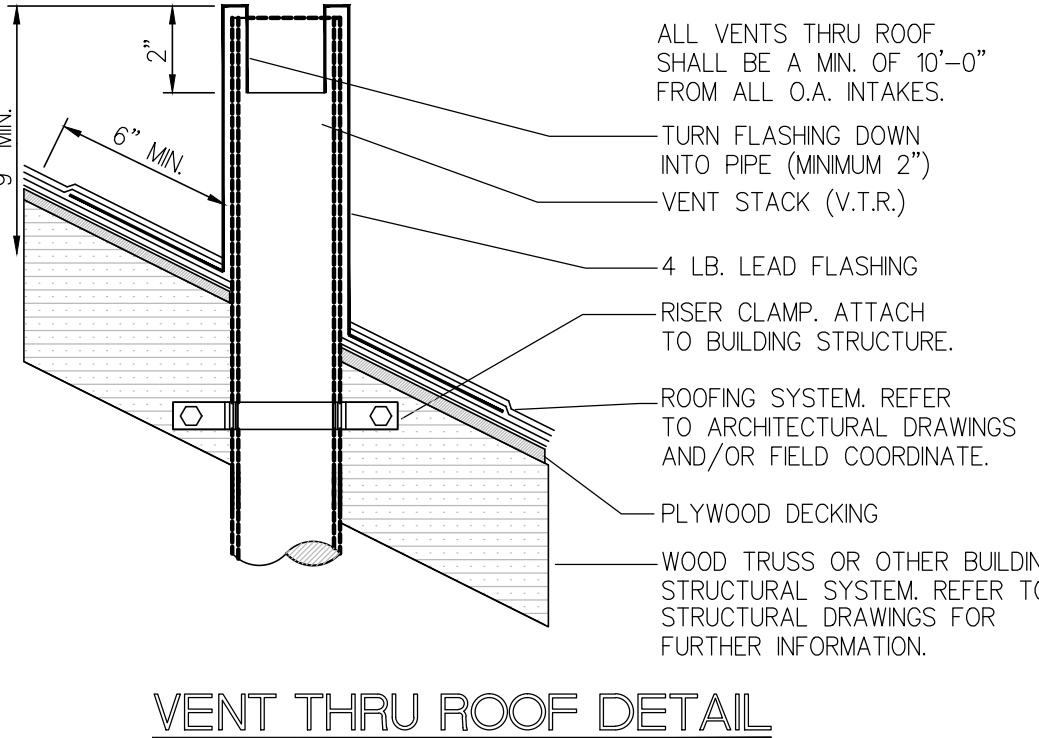
PPP SIZING CHART		
FIXTURE UNITS	SIZE (SWEAT)	PART NUMBER
1-11	1/2"	SWA-500
12-32	3/4"	SWA-750
33-60	1"	SWA-1000
61-113	1 1/4"	SWA-1250
114-154	1 1/2"	SWA-1500
155-330	2"	SWA-2000

WATER HAMMER ARRESTOR DETAIL

- NOTES:**
1. PROVIDE A WATER HAMMER ARRESTOR ON EACH HOT WATER AND COLD WATER DROP.
 2. ARRESTORS SHOULD ALWAYS BE INSTALLED SO THAT THERE IS AN UNOBSTRUCTED SHOCK PATH TO THE ARRESTOR.
 3. ARRESTORS SHOULD ALWAYS BE PLACED AS NEAR TO THE SOURCE OF SHOCK AS POSSIBLE.

GENERAL NOTES:

1. THE PLUMBING CONTRACTOR SHALL SURVEY SITE PRIOR TO BID SUBMISSION TO VERIFY ALL EXISTING LOCATIONS, SLOPES AND INVERTS OF EXISTING SANITARY PIPING INCLUDING CONNECTION POINTS FOR NEW PIPING TO EXISTING. ALSO, VERIFY LOCATIONS AND CONNECTION POINT TO THE EXISTING COLD WATER SERVICE.
2. WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC WITH DRAINAGE PATTERN FITTINGS.
3. DOMESTIC WATER PIPING SHALL BE REHAU PEV-A WITH EVERLOC SYSTEM. PROVIDE WATER HAMMER ARRESTORS EQUAL TO JAY R. SMITH AT EACH FIXTURE GROUP, IN ACCORDANCE WITH THE FBC - PLUMBING.
4. SLOPE WASTE LINES 3" AND LARGER AT 1/8" PER FOOT. LINES SMALLER THAN 3" SHALL BE SLOPED AT 1/4" PER FOOT.
5. INSULATE ALL DOMESTIC HOT WATER PIPING WITH 1" WALL ARMAFLEX OR EQUIVALENT INSULATION.
6. PROVIDE ISOLATION VALVES AT ALL FIXTURES. FIXTURES SHALL BE CHROME FINISH EQUAL TO BRASSCRAFT KT SERIES.
7. PROVIDE WALL CARRIERS AT ALL WALL-HUNG FIXTURES. CARRIERS SHALL BY FIXTURE MANUFACTURER OR EQUAL TO ZURN/CARRIER SHALL BE CAPABLE OF SUPPORTING A 350 LB. VERTICAL LOAD.
8. INSTALLATION OF ALL PLUMBING FIXTURES, PIPING, COMPONENTS AND PERIPHERALS SHALL COMPLY WITH THE 2017 FLD/A BUILDING CODE - PLUMBING, SIXTH EDITION AND ALL OTHER APPLICABLE CODES, LAWS, STANDARDS AND ORDINANCES.
9. PLUMBING CONTRACTOR SHALL COORDINATE ALL VENTS THROUGH ROOF WITH ROOFING CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
10. ALTERNATE FIXTURE MANUFACTURERS ARE ACCEPTABLE PROVIDED THEY ARE EQUIVALENT AND MEET THE KIND AND QUALITY OF THE FIXTURES SPECIFIED.
11. PIPE HANGERS SHALL BE SPLIT RING TYPE, GALVANIZED, WITH THREADED ROD SUPPORT FROM STRUCTURE ABOVE EQUAL TO GRINNELL. DISTANCE BETWEEN SUPPORTS SHALL BE PER FBC - PLUMBING TABLE 308.5.
12. VENT PIPING SHALL BE EXTENDED TO EXISTING VENT SYSTEM WHICH CONTINUES UP THROUGH SECOND FLOOR AND TO 3" V.T.R. COORDINATE WITH EXISTING CONDITIONS PRIOR TO INSTALLATION.
13. TESTING OF THE PLUMBING SYSTEM SHALL BE PERFORMED BY THE PLUMBING SUBCONTRACTOR AND WITNESSED BY THE BUILDING DEPARTMENT INSPECTOR. POTABLE HOT AND COLD WATER SUPPLY PIPING SHALL BE HYDROSTATICALLY TESTED AT NOT LESS THAN 50 PSIG FOR 15 MINUTES. SOIL, WASTE AND VENT PIPING SHALL BE FILLED WITH WATER TO THE TOP OF THE SYSTEM WITH NO LESS THAN A 5-FOOT HEAD OF WATER FOR A PERIOD OF 15 MINUTES.
14. CLEANOUTS SHALL BE PROVIDED PER PLAN AND/OR AS REQUIRED TO PROVIDE A COMPLETE SERVICEABLE SYSTEM. CLEANOUTS SHALL BE SAME SIZE AS PIPE. FLOOR CLEANOUTS SHALL BE EQUAL TO ZURN Z-1400-KC WITH BRONZE TOP. WALL CLEANOUTS SHALL BE EQUAL TO ZURN Z-1411-KC WITH STAINLESS STEEL COVER.
15. INSULATE TRAY, TRAP AND APPLICABLE WATER PIPING BELOW ALL HANDICAPPED LAVATORIES WITH TREUBRO "LAVAGUARD" OR OTHER APPROVED SYSTEM.
16. WATER PIPING BELOW GRADE/SLAB SHALL BE TYPE 'K' COPPER IN VINYL SLEEVE. CPVC MAY BE USED IF ACCEPTED BY LOCAL AUTHORITY.
17. PLANS AND DIAGRAMS/DETAILS ARE SCHEMATIC ONLY AND REPRESENT THE GENERAL INTENT OF WHAT IS TO BE INSTALLED AND SHOULD NOT BE SCALED. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION WITH ALL STRUCTURAL AND FIELD CONDITIONS AS WELL AS INSTALLATION HEIGHTS OF DUCTWORK, EQUIPMENT, CONDUIT, ETC. OF OTHER TRADES WHOSE SCOPE OVERLAYS THAT OF THE PLUMBING CONTRACTOR.
18. THE PLUMBING CONTRACTOR SHALL ANTICIPATE AND PROVIDE ALL INCIDENTAL AND PERIPHERAL ITEMS WHICH ARE OBVIOUSLY REQUIRED AND NECESSARY TO COMPLETE THE INSTALLATION REGARDLESS IF THESE ITEMS ARE SPECIFIED AND/OR SHOWN ON THE PLAN(S).
19. THERMOSTATIC MIXING VALVES SHALL BE PROVIDED AT ALL LAVATORIES AND HAND SINKS SET AT NO MORE THAN 100 DEGREES F. FOR CODE COMPLIANCE ON WATER TEMPERATURE CONTROL.



VENT THRU ROOF DETAIL
N.T.S.

PROFESSIONAL STATEMENT TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEF, I HAVE PREPARED THE ABOVE DRAWINGS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT.

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Professional Engineer
Society Number: Florida 34695
Engineering Business No. 9204
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EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

PLUMBING SCHEDULE, NOTES, & DETAILS

FLORIDA PROFESSIONAL ENGINEER

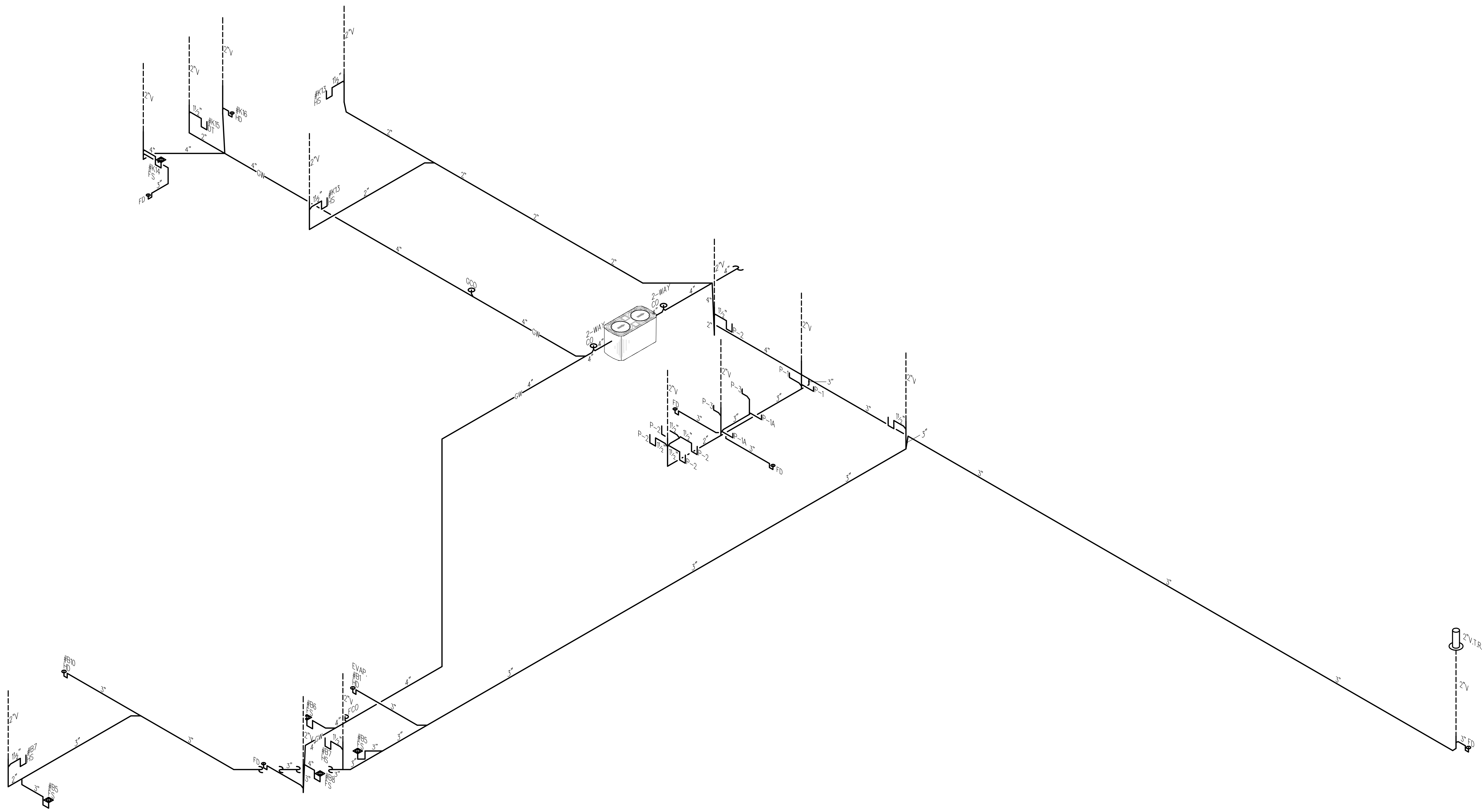
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DRAWN BY: BMD
DATE: 7-29-20
PROJECT #: 20085

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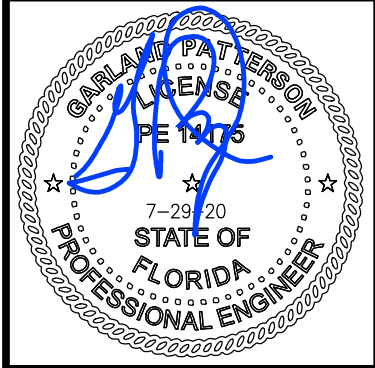
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EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 OWNER TITLE: PLUMBING SANITARY & GREASE WASTE RISERS

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REVISIONS	
NO.	DATE

PROFESSIONAL STATEMENT TO THE BEST OF HIS/HER BEST KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING AND PLUMBING CODES AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
 I, THE ENGINEER, HAVE PERSONALLY SUPERVISED THE PREPARATION OF THESE PLANS AND SPECIFICATIONS.
 I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.
 I HAVE REVIEWED THESE PLANS AND SPECIFICATIONS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THESE PLANS AND SPECIFICATIONS.
 I HAVE REVIEWED THESE PLANS AND SPECIFICATIONS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THESE PLANS AND SPECIFICATIONS.

10 GENERAL:

11 ALL APPLICABLE CODES, LAWS AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR WHO SHALL INFORM THE OWNER PRIOR TO SUBMITTING A PROPOSAL, OF ANY WORK OR MATERIAL WHICH VIOLATES ANY OF THE ABOVE LAWS AND REGULATIONS. ANY WORK DONE BY THE CONTRACTOR CAUSING SUCH VIOLATION SHALL BE CORRECTED BY THE CONTRACTOR.

12 INVESTIGATE EACH SPACE THROUGH WHICH EQUIPMENT MUST BE MOVED, WHERE NECESSARY, EQUIPMENT SHALL BE MOVED FROM MANUFACTURER IN SECTIONS OF SIZE SUITABLE FOR SHIPPING THROUGH AVAILABLE RESTRICTIVE SPACES. ASERTAIN FROM BUILDING OWNER AND TENANT AT WHAT TIMES OF DAY EQUIPMENT MAY BE MOVED THROUGH ALL AREAS.

13 DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONDUIT ROUTING IS SHOWN STRAIGHT, SIDEWALKS AND DOES NOT SHOW ALL OFFSETS, DRIPS AND RISERS OF RUNS. THE CONTRACTOR SHALL ALLOW IN HIS PRICE FOR ROUTING OF CONDUIT TO AVOID OBSTRUCTIONS. COORDINATION WITH EXISTING SERVICES, INCLUDING THOSE OF OTHER TRADES, IS REQUIRED. MAINTAIN HEADROOM AND SPACE CONDITIONS.

14 INSTALL WORK SO AS TO BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES WHICH INVOLVE EXTRA COST SHALL NOT BE MADE WITHOUT APPROVAL.

15 REMOVAL AND RELOCATION OF CERTAIN EXISTING WORK MAY BE NECESSARY FOR THE PERFORMANCE OF THE GENERAL WORK. ALL EXISTING CONDITIONS CANNOT BE COMPLETELY DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL SURVEY THE SITE AND INCLUDE ALL CHANGES AND CHARGES IN MAKING UP THE WORK PROPOSAL.

16 CONNECTIONS TO EXISTING WORK: INSTALL NEW WORK AND CONNECT TO EXISTING WORK WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES. TEMPORARY SHUTDOWNS OF EXISTING SERVICES SHALL BE PERFORMED AT NO ADDITIONAL CHARGES. AT TIMES NOT TO INTERFERE WITH NORMAL OPERATION OF EXISTING FACILITIES AND ONLY WITH WRITTEN CONSENT OF OWNER, ALARM AND EMERGENCY SYSTEMS SHALL NOT BE INTERRUPTED. MAINTAIN CONTINUOUS OPERATION OF EXISTING FACILITIES AS NECESSARY. TEMPORARY CONNECTIONS BETWEEN NEW AND EXISTING WORK: CONNECT NEW WORK TO EXISTING WORK IN NEAT AND ACCEPTABLE MANNER. RESTORE EXISTING DISTURBED WORK TO ORIGINAL CONDITION, INCLUDING MAINTENANCE OF WIRING CONTINUITY AS REQUIRED.

17 DISCONNECT, REMOVE AND/OR RELOCATE EXISTING MATERIAL, EQUIPMENT AND OTHER WORK AS NOTED OR REQUIRED FOR PROPER INSTALLATION OF NEW WORK.

18 THE CONTRACTOR SHALL KEEP ALL EQUIPMENT AND MATERIALS, AND ALL PARTS OF THE BUILDING, EXTERIOR SPACES AND ADJACENT STREETS, SIDEWALKS AND PAVEMENTS, FREE FROM MATERIAL AND DEBRIS RESULTING FROM THE EXECUTION OF THIS WORK. EXCESS MATERIALS WILL NOT BE PERMITTED TO ACCUMULATE EITHER ON THE INTERIOR OR THE EXTERIOR.

19 SEAL OPENINGS THROUGH PARTITIONS, WALLS AND FLOORS WITH MINERAL WOOL OR OTHER NONCOMBUSTIBLE MATERIAL.

110 PROVIDE ALL NECESSARY FLASHING AND COUNTERFLASHING TO MAINTAIN THE WATERPROOFING INTEGRITY OF THE BUILDING AS REQUIRED BY THE INSTALLATION OR REMOVAL OF CONDUIT AND EQUIPMENT. PROVIDE EQUIPMENT CURBS AS REQUIRED.

111 ALL EXISTING MATERIAL, EQUIPMENT AND CONSTRUCTION DEBRIS TO BE REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR WITH THE EXCEPTION OF SPECIFIC EQUIPMENT AND APPARATUS REQUESTED BY THE BUILDING REPRESENTATIVE, ARCHITECT OR AS NOTED TO BE RELOCATED ON THE DRAWINGS. REMOVED EQUIPMENT SHALL BE PROPERLY DISPOSED OF BY THIS CONTRACTOR.

112 UNLESS OTHERWISE SPECIFICALLY NOTED OR SPECIFIED, INCLUDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS, PARTITIONS AND OTHER MATERIALS IN THE EXISTING BUILDING. THE CONTRACTOR SHALL RESTORE THESE AREAS TO ORIGINAL CONDITION.

113 ALL MATERIAL AND EQUIPMENT SHALL BE NEW UNLESS OTHERWISE NOTED AND SHALL BE IN ACCORDANCE WITH BUILDING STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO INDICATE ANY DISCREPANCIES BETWEEN THE CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO SUBMITTING A PROPOSAL. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS SHALL NOT BE MADE FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN DURING SUCH AN EXAMINATION. THE ON-SITE INSPECTION SHALL VERIFY EXISTING CONDUIT (SIZES, CLEARANCES, ETC.) AND CONDITIONS.

114 INSURANCE: IN ACCORDANCE WITH BUILDING REQUIREMENTS AND SHALL INCLUDE A HOLD HARMLESS CLAUSE FOR OWNER AND ENGINEER.

115 THE FINAL ACCEPTANCE SHALL BE MADE AFTER THE CONTRACTOR HAS ADJUSTED HIS EQUIPMENT, TESTED THE VARIOUS SYSTEMS, DEMONSTRATED THAT IT FULFILLS THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS AND HAS FURNISHED ALL THE REQUIRED CERTIFICATES OF INSPECTION AND APPROVAL.

2.0 SCOPE OF WORK:

2.1 SCOPE OF WORK SHALL CONSIST OF PROVIDING LABOR, MATERIALS, EQUIPMENT, SERVICES AND FEES NECESSARY FOR COMPLETE AND SAFE INSTALLATION IN CONFORMITY WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE INDUSTRY, NATIONAL AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION, AS INDICATED ON DRAWINGS AND HEREIN SPECIFIED.

2.2 THE DRAWINGS AND THE SPECIFICATIONS SHALL BE CONSIDERED ADDITIONAL TO ARCHITECT AND MECHANICAL ENGINEER'S SPECIFICATIONS. ANY DISCREPANCY OR CONTRADICTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

2.3 ARCHITECT'S GENERAL REQUIREMENTS ARE PART OF THIS CONTRACT AND THEY SHALL BE APPLIED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS (ELECTRICAL, ETC.).

2.4 ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL (NEC) CODE.

2.5 GENERAL CONTRACTOR SHALL VISIT THE JOB SITE IN ORDER TO FAMILIARIZE HIMSELF WITH CONDITIONS THAT CAN AFFECT HIS WORK IN ANY MANNER (MEASUREMENTS - PARTICULAR CONDITIONS, ETC.) NO EXTRA COST DUE TO THE IGNORANCE OF LOCAL CONDITIONS WILL BE ACCEPTED BY THE TENANT.

2.6 GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY CHECKING AND ADJUSTMENTS TO COMPLY WITH THE INTENT OF SPECIFICATIONS.

2.7 THE DRAWINGS SHOW THE APPROXIMATE LOCATION OF THE EQUIPMENT. EACH SUBCONTRACTOR SHALL VERIFY THESE LOCATIONS BEFORE INSTALLATION.

2.8 GENERAL CONTRACTOR'S TENDER SHALL INCLUDE THE COST OF

ALL NECESSARY PERMITS AND CERTIFICATES, ALL DRAWINGS APPROVAL COSTS AND ALL INSPECTION COSTS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION.

2.9 EACH SUBCONTRACTOR SHALL COMPLETE THE WORK IN EVERY DETAIL, EVEN THOUGH NOT SHOWN ON DRAWINGS OR CALLED FOR IN THIS SPECIFICATION.

2.10 THE ELECTRICAL TRADE PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND OPERATING ELECTRICAL SYSTEM AS INDICATED ON THE DRAWINGS. THE TRADE SHALL ALSO PROVIDE WHICH IS OBVIOUSLY NECESSARY OR REASONABLY IMPLIED TO COMPLETE THE WORK.

2.11 ALL RUBBISH'S AND GARBAGE SHALL BE REMOVED FROM THE JOB SITE AT THE END OF EVERY WORKDAY. AT THE CONTRACT COMPLETION, ALL TOOLS AND EQUIPMENT SHALL BE REMOVED AND THE JOB SITE SHALL BE LEFT IN A CLEAN CONDITION.

3.0 GUARANTEE:

3.1 EACH SUBCONTRACTOR SHALL GUARANTEE HIS WORK AND INSTALLATION REGARDING HIS CONTRACT. THE ELECTRICAL CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE, ALL DEFECTS AND THIS DURING A TWELVE MONTH PERIOD, STARTING AT THE PROVISIONAL ACCEPTANCE BY THE TENANT. AS LONG AS THE DEFECTS IS NOT DUE TO A BAD USE OR NORMAL WEAR.

4.0 GENERAL PROVISIONS FOR ELECTRICAL WORK:

4.1 SPECIFICATIONS ARE OF SIMPLIFIED FORM AND INCLUDE INCOMPLETE SENTENCES, WORDS OR PHRASES SUCH AS "THE CONTRACTOR SHALL," "SHALL BE," "FURNISH," "PROVIDE," "A," "THE," AND "ALL" HAVE BEEN OMITTED FOR BREVITY.

4.2 DEFINITIONS:

1) "PROVIDE": TO SUPPLY, INSTALL AND CONNECT UP COMPLETE AND READY FOR SAFE AND REGULAR OPERATION THE PARTICULAR WORK REFERRED TO UNLESS SPECIFICALLY OTHERWISE NOTED.

2) "INSTALL": TO ERECT, MOUNT AND CONNECT COMPLETE WITH RELATED ACCESSORIES.

3) "FURNISH OR SUPPLY": TO PURCHASE, PROCURE, ACQUIRE AND DELIVER COMPLETE WITH RELATED ACCESSORIES.

4) "WORK": LABOR, MATERIALS, EQUIPMENT, APPARATUS, CONTROLS, ACCESSORIES AND THEIR ITEMS REQUIRED FOR PROPER AND COMPLETE INSTALLATION.

4.2 DEFINITIONS CONTINUED:

5) "WIRING": RACEWAY, FITTINGS, WIRE, BOXES AND RELATED ITEMS.

6) "CONCEALED": EMBEDDED IN MASONRY OR OTHER CONSTRUCTION, INSTALLED IN FURRED SPACES, WITHIN DOUBLE PARTITIONS OR HUNG CEILINGS, IN TRENCHES, IN CRAWL SPACES, OR IN ENCLOSURES.

7) "EXPOSED": NOT INSTALLED UNDERGROUND OR "CONCEALED" AS DEFINED ABOVE.

8) "SIMILAR" OR "EQUAL": EQUAL IN MATERIALS, WEIGHT, SIZE, DESIGN AND EFFICIENCY OF SPECIFIED PRODUCT.

5.0 TEMPORARY LIGHT AND POWER:

5.1 PROVIDE TEMPORARY LIGHT AND POWER SYSTEMS AT EARLIEST POSSIBLE DATE WITHIN THE CONSTRUCTION AREAS FOR THE REQUIREMENTS OF ALL TRADES AS HEREIN DESCRIBED. EXTEND SYSTEMS TO NEW CONSTRUCTION AS SOON AS PHYSICALLY POSSIBLE. MAINTAIN SYSTEM DURING WORKING HOURS OF ALL TRADES. COST OF ENERGY WILL BE PAID FOR BY OWNER. PROVIDE ALL REQUIRED MAINTENANCE, INCLUDING LAMPS AND SOCKETS.

6.0 QUALITY ASSURANCE:

6.1 QUALITY AND GAUGE OF MATERIALS: NEW, BEST OF THEIR RESPECTIVE KINDS, FREE FROM DEFECTS AND LISTED BY UNDERWRITERS LABORATORIES, INC. OR OTHER NATIONALLY APPROVED TESTING AGENCY AND BEARING THEIR LABEL. MATERIALS AND EQUIPMENT OF SIMILAR APPLICATION SHALL BE OF SAME MANUFACTURER, EXCEPT AS NOTED.

6.2 GUARANTEE ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED AS DEFINED IN PARAGRAPH 3.0.

6.3 PRODUCT DELIVERY, STORAGE AND HANDLING

1) MOVING OF EQUIPMENT: WHERE NECESSARY, SHIP IN CARTED SECTIONS OF SIZE TO PERMIT PASSING THROUGH AVAILABLE SPACES.

2) ACCESSIBILITY: FOR OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS SHALL BE PERMITTED. CHANGES OF MAGNITUDE OR CAUSING EXTRA WORK SHALL BE REVIEWED BY THE ENGINEER. GROUP CONCEALED ELECTRICAL EQUIPMENT REQUIRING ACCESS WITH EQUIPMENT FREELY ACCESSIBLE THROUGH ACCESS DOORS.

6.4 MATERIALS

1) NAMEPLATES: PROVIDE BLACK LAMICOID SHEET WITH 3/4 IN. WHITE LETTERING, FASTENED WITH EPOXY CEMENT FOR EACH DISCONNECT SWITCH, CIRCUIT BREAKER, PANEL, CABINET, TRANSFORMER ENCLOSURE, MOTOR CONTROLLER AND THE LIKE. NAMEPLATES SHALL DESCRIBE THE NAME AND NUMBER OF EACH COMPONENT.

2) CABLE TAGS: TAG EACH CONDUCTOR PASSING THROUGH SPLICE OR PULLBOX WITH A WHITE LINEN TAG, INDICATING POINT OF ORIGIN AND TERMINATION OF THE CIRCUIT.

7.0 PAINT AND FINISH:

7.1 PAINT SHALL BE THE BEST GRADE FOR ITS PURPOSE. DELIVER IN ORIGINAL SEALED CONTAINERS AND APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. COLORS SHALL BE AS SELECTED BY ARCHITECT OR ENGINEER. UTILIZE GALVANIZED IRON PRIMER ON PANEL AND FULL BOXES. AFTER FABRICATION, UTILIZE HOT DIPPED GALVANIZED OR DIPPED IN ZINC BASED PRIMER FOR: OUTLET BOXES, JUNCTION BOXES, CONDUIT HANGERS, RODS, INSERTS AND SUPPORTS. ZINC BASED PRIMER WITH FINISH TO MATCH SURROUNDINGS SHALL BE USED FOR MARKED SURFACES OF STEEL EQUIPMENT AND RACEWAYS. A FIELD-APPLIED ZINC BASED PRIME COAT SHALL BE UTILIZED FOR STEEL OR IRONWORK.

7.2 BRUSH AND CLEAN WORK PRIOR TO CONCEALING, PAINTING AND ACCEPTANCE. PAINTED EXPOSED WORK SOILED OR DAMAGED: CLEAN AND REPAIR TO MATCH ADJOINING WORK BEFORE FINAL ACCEPTANCE. REMOVE DEBRIS FROM INSIDE AND OUTSIDE OF MATERIAL AND EQUIPMENT.

7.3 FINAL LOCATIONS AND MOUNTING ORIENTATIONS OF ALL SWITCHES, RECEPTACLES AND LIGHT FIXTURES SHALL BE VERIFIED WITH ARCHITECT.

7.4 ALL ACCESS DOOR LOCATIONS SHALL BE REVIEWED BY ARCHITECT PRIOR TO INSTALLATION.

8.0 LOW-VOLTAGE DISTRIBUTION EQUIPMENT:

8.1 PROVIDE COMPLETE EQUIPMENT INCLUDING: SWITCHES, FUSES,

CIRCUIT BREAKERS, PANELS AND TRANSFORMERS.

8.2 ALL EQUIPMENT SHALL CONFORM TO NEMA, ANSI AND IEEE STANDARDS.

8.3 DISCONNECT SWITCHES SHALL BE FUSED OR NONFUSED AS NOTED. VOLTAGE SHALL BE AS REQUIRED. SWITCHES SHALL BE HEAVY DUTY, EXCEPT AS NOTED, AND HORSEPOWER RATED FOR MOTOR LOADS. TOGGLE TYPE SWITCHES SHALL BE NONFUSED. LOAD BREAK HAVING MAXIMUM RATINGS OF 20 AMP @ 600V VOLT AND 30 AMP @ 240 VOLT. KNIFE-BLADE TYPE SWITCHES SHALL BE LOAD BREAK. QUICK-MAKE-QUICK-BREAK UL CLASS R UP TO 600 AMP. MAXIMUM RATING EXCEPT AS NOTED SHALL BE 800 AMP. ARC QUENCHERS SHALL BE PROVIDED. SWITCHES SHALL BE SIMILAR TO GENERAL ELECTRIC QP1E. ALL SWITCH ENCLOSURES SHALL BE DEAD FRONT, NEMA TYPE 1, EXCEPT AS NOTED.

8.4 FUSES:

1) CIRCUIT 601 TO 6000 AMPERES SHALL BE PROTECTED BY FUSES SIMILAR TO CURRENT LIMITING BUSMANN LOW-PEAK FUSES KR-PC (AMP'RS, CLASS L LISTED BY UL WITH AN INTERRUPTING RATING OF 300,000 AMPERES RMS SYMMETRICAL.

2) CIRCUITS 0 TO 600 AMPERES SHALL BE PROTECTED BY FUSES SIMILAR TO CURRENT LIMITING BUSMANN LOW-PEAK DUAL-ELEMENT TIME-DELAY LPN-RK (AMP'RS (250V) /LPS-RK (AMP'RS (600V) OR LPJ (AMP'RS (600V) /UL CLASS RK1 OR CLASS JJ), AND BE LISTED BY UL WITH AN INTERRUPTING RATING OF 300,000 AMPERES RMS SYMMETRICAL.

3) MOTOR CIRCUITS - ALL INDIVIDUAL MOTOR CIRCUITS WITH FULL LOAD AMPERES (FLA) OF 480 AMPERES OR LESS SHALL BE PROTECTED BY FUSES SIMILAR TO CURRENT LIMITING BUSMANN LOW-PEAK DUAL-ELEMENT TIME-DELAY LPN-RK (AMP'RS (250V) /LPS-RK (AMP'RS (600V) OR LPJ (AMP'RS (600V) /UL CLASS RK1 OR CLASS JJ), AND BE LISTED BY UL WITH AN INTERRUPTING RATING OF 300,000 AMPERES RMS SYMMETRICAL.

4) ALL FUSES SHALL BE PROVIDED BY SAME MANUFACTURER.

5) PROVIDE 1 SPACE MATCHING FUSE FOR EACH SET OF 3.

8.5 CIRCUIT BREAKERS: MOLDED CASE BREAKERS SHALL BE FACED, MOUNTED ON RACKS, TRIP-FREE, BOLT-ON TYPE, MANUALLY OPERATED WITH INSULATED TRIP-FREE HANDLE. MULTI-POLE TYPE BREAKERS SHALL CONTAIN INTERNAL TRIP BAR. TERMINALS SHALL BE SUITABLE FOR COPPER OR ALUMINUM CABLE. FURNISH AUXILIARY DEVICES WHERE REQUIRED FOR SHUNT-TRIPPING, OPEN AND CLOSE MOTOR OPERATOR AND ALARM INDICATION. ENCLOSURES SHALL BE DEAD FRONT, NEMA TYPE 1, EXCEPT AS NOTED.

8.6 DISTRIBUTION PANELS: SWITCHING UNITS SHALL BE 3 PHASE, 4 WIRE CIRCUIT-BREAKER TYPE UNLESS OTHERWISE NOTED ON PANEL SCHEDULES. BUS BARS SHALL BE HARD DRAWN COPPER, MINIMUM 98 PERCENT CONDUCTIVITY, SILVER OR TIN-PLATED JOINTS. CABINETS SHALL BE GALVANIZED SHEET STEEL BACK BOX, WITH DOOR AND TRIM AND APPEARED AND WELDED CORNERS. HARDWARE SHALL BE CHROME-PLATED WITH FLUSH LOCK/LATCH HANDLE ASSEMBLY (UP TO 48 IN. HIGH DOORS) OR VAULT HANDLE, LOCK AND 3-POINT CATCH (LARGER THAN 48 IN. HIGH DOORS). HINGES SHALL BE SEMI-CONCEALED, 5-KNUCKLE STEEL WITH NONFERROUS FINIS. 180-DEG OPENING. LOCATED A MAXIMUM 26 IN. ON CENTERS. MINIMUM GUTTER SPACES FOR LIGHTING PANELS SHALL BE 5-3/4 IN. SIDES, TOP AND BOTTOM. DIRECTORY HOLDER SHALL BE METAL FRAME WITH CLEAR PLASTIC, TRANSPARENT COVER. A TYPEWRITTEN LIST INDICATING FEEDER CABLE AND CONDUIT SIZE, CIRCUIT NUMBERS, OUTLETS SUPPLIED AND THEIR LOCATIONS SHALL BE PROVIDED.

8.7 TRANSFORMERS SHALL BE OPEN-VENTILATED, DRY TYPE, CLASS H INSULATION, 15 DEGREE C TEMPERATURE RISE. WINDINGS SHALL BE COPPER. PRIMARY AND SECONDARY VOLTAGES SHALL BE AS NOTED. PRIMARY TAPS (6-2 1/2% TAPS, 2 ABOVE AND 4 BELOW RATED VOLTAGE) SHALL BE PROVIDED, ADJUST FOR REQUIRED VOLTAGE.

8.8 BALANCE THE LOAD OVER PHASES WHEN NEW CIRCUITS ARE ADDED TO NEW OR EXISTING PANELS. PROVIDE MULTI-CABLE LUGS WHERE REQUIRED. DOUBLE LUGGING SHALL NOT BE PERMITTED. MOUNTING HEIGHT SHALL BE A MAXIMUM OF 6 FT-6 IN. FROM FLOOR TO TOP SWITCH UNIT, UPDATE DIRECTORIES ON EXISTING PANELBOARDS WHERE CIRCUITING IS CHANGED.

8.9 TESTS: OPEN AND CLOSE LOAD BREAK SWITCHING DEVICES UNDER LOAD.

9.0 RACEWAYS:

9.1 PROVIDE RACEWAYS COMPLETE WITH BOXES, FITTINGS AND ACCESSORIES. CONDUIT OR TUBING SIZES REFERRED TO IN SPECIFICATIONS AND ON DRAWINGS ARE NOMINAL DIAMETERS. MINIMUM DIAMETER SHALL BE 1/2 IN.

9.2 MATERIALS

1) RACEWAYS:

a. RIGID STEEL CONDUIT: FULL WEIGHT PIPE, GALVANIZED, THREADED.

b. ELECTROMETALLIC TUBING (EMT): THIN WALL PIPE, GALVANIZED, THREE EDS.

c. FLEXIBLE STEEL CONDUIT: CONTINUOUS SINGLE STRIP, GALVANIZED.

d. WIREWAYS: WIRE SHALL BE AS NOTED, MINIMUM NO. 16 GAUGE STEEL WITH GROUND CONTINUITY. FINISH SHALL BE BAKED ENAMEL. COVERS SHALL BE SCREW-ON.

e. SURFACE METAL RACEWAY: SIZE AS NOTED. BASE @ 0.04 IN. COVER @ 2.5 IN. MATERIAL SHALL BE STEEL. FINISH SHALL BE BAKED ENAMEL. COVERS SHALL BE SCREW-ON.

f. MC CABLE IS ACCEPTABLE IN CONCEALED LOCATIONS AND WHERE NOT SUBJECT TO DAMAGE. MINIMUM SIZE #2

2) FITTINGS AND ACCESSORIES:

a. RIGID STEEL: NONSPIT, THREADED, STEEL OR MALLEABLE IRON/ZINC DIE CAST NOT PERMITTED.

b. ELECTROMETALLIC TUBING: COMPRESSION OR SET SCREW TYPE. GALVANIZED RIGID STEEL ELBOWS, 2 IN. OR LARGER.

c. FLEXIBLE METALLIC CONDUIT: ANGLE WEDGE TYPE WITH INSULATED THROAT.

d. BUSHINGS: METALLIC INSULATED TYPE.

3) BOXES:

a. OUTLET BOXES: EXCEPT AS OTHERWISE REQUIRED BY CONSTRUCTION, DEVICES OR WIRING, BOXES SHALL BE STAMPED STEEL, 4 IN. SQUARE OR OCTAGON FOR FIXTURES. BOXES ABOVE CEILING SHALL BE 1-1/2 IN. DEEP. BOXES IN CEILING OR SLAB SHALL BE 3 IN. DEEP. BOXES IN WALL FOR FIXTURES SHALL BE 2-3/4 IN. DEEP. BOXES IN WALL FOR RECEPTACLES AND SWITCHES SHALL BE 1-1/2 IN. DEEP. FURNISH WITH RAISED COVERS AND FIXTURE STUDS WHERE REQUIRED, WITHOUT FIXTURE OR DEVICE. FURNISH BLANK COVER, OFFSET BACK-TO-BACK OUTLETS WITH MINIMUM 6 IN. SEPARATION.

b. JUNCTION AND FULL BOXES: GALVANIZED SHEET STEEL WITH SCREW-ON COVERS, EXCEPT AS NOTED. FURNISH WITH INSULATED SUPPORTS FOR CABLES. LOCATIONS SHALL BE AS NOTED OR REQUIRED AND ACCESSIBLE. PROVIDE BARRIERS IN NEW AND RENOVATED BOXES BETWEEN 120/208 VOLT AND 265/480 VOLT WIRING AND BETWEEN EMERGENCY AND NORMAL WIRING. FLOOR BOXES SHALL BE SUITABLE FOR CONDUIT AND DEVICES NOTED. TELEPHONE: BUSHED HOLE, POWER: DUPLEX RECEPTACLE OR OTHER AS NOTED. INCREASE SIZE TO SUIT AS NECESSARY.

c. PROVIDE RACEWAYS ONLY AS HEREIN SPECIFIED, EXCEPT AS NOTED. RACEWAYS SHALL BE RUN CONCEALED, EXCEPT AS NOTED. PROVIDE RACEWAY SUPPORT UTILIZING CEILING TRAFFIC STRAP HANGERS, OR WALL BRACKETS. PROVIDE U-BOLTS AT EACH FLOOR LEVEL OF RISER RACEWAYS AND CONNECTED TO ACCEPTABLE SUPPORTS. PROVIDE RISER CLAMPS AT EACH FLOOR LEVEL OF RISER RACEWAYS AND RESTING ON SLAB. FOR THROUGH-THE-FLOOR SYSTEMS, UTILIZE AN ASSEMBLY SIMILAR TO HUBBELL FIRE RATED CONDUIT THROUGH FLOOR BOX SYSTEM. FOR ABOVE FLOOR FITTINGS, TELEPHONE SHALL BE BUSHED HOLE AND POWER SHALL BE DUPLEX RECEPTACLE OR OTHER AS NOTED. PROVIDE SEPARATION BARRIER BETWEEN POWER AND TELEPHONE COMPARTMENTS. PROVIDE JUNCTION BOX ON UNDERSIDE OF FLOOR. PACK FITTING TO RESTORE FIRE RATING OF FLOOR.

SECURE ALL RACEWAYS TO SUPPORTS WITH PIPE STRAPS OR U-BOLTS SPACING OF SUPPORTS SHALL BE A MINIMUM OF 10 FT ON CENTER FOR METALLIC RACEWAY AND AS REQUIRED FOR NONMETALLIC RACEWAY. SPACING SHALL BE 5 FT ON CENTER FOR WIREWAYS AND PER CODE AND AS NOTED FOR OTHERS. MOUNT SUPPORTS TO STRUCTURE. MASONRY WITH TOSGLE BOLTS ON HOLLOW MASONRY. EXPANSION SHIELDS OR INSERTS IN CONCRETE AND BRICK. MACHINE SCREWS ON METAL. BEAM CLAMPS ON FRAMEWORK. WOOD SCREWS ON WOOD, AND PAN THROUGH STRAPS IN METAL DECK. NAILS, RAUL PLUGS OR WOOD FLUGS SHALL NOT BE PERMITTED, WHERE REQUIRED BY STRUCTURE, FURNISH THROUGH BOLTS AND FISHPULERS.

EXPOSED RACEWAYS SHALL BE RUN PARALLEL WITH OR AT RIGHT ANGLES TO WALLS. PROVIDE CLEARANCE WITH WATER, STEAM OR OTHER PIPING (MINIMUM 3 IN. SEPARATION FROM STEAM AND HOT WATER PIPES, EXCEPT 1 IN. FROM PIPE COVER AT CROSSINGS) AND 18 IN. FOR PARALLEL RUNS). FOR HUNG CEILING OUTLETS, RUN IN HUNG CEILING AND CONNECT TO CEILING SUPPORT CHANNELS. IN MASONRY AND POURED CONCRETE, RUN VERTICALLY ONLY.

MAINTAIN GROUNDING CONTINUITY OF INTERRUPTED METALLIC RACEWAYS WITH GROUND CONDUCTOR, AND IN FLEXIBLE CONDUIT FOR FEEDERS AND MOTOR TERMINAL CONNECTIONS.

EMPTY RACEWAYS OVER 10 FT LONG: PROVIDE FISH OR FULL WIRE, GALVANIZED OR NYLON ROPE.

RIGID STEEL CONDUIT SHALL BE PERMITTED FOR FEEDERS AND BRANCH CIRCUITS. PAINT MALE THREADS OF FIELD-THREADED CONDUIT WITH GRAPHITE BASE PIPE COMPOUND. BUTT CONDUIT ENDS TOUGH UP MARKED SURFACES AND FIELD-CUT THREADS, CRC-COLD GALVANIZED.

EMT AND MC CABLE SHALL BE PERMITTED FOR BRANCH CIRCUITS ONLY, IN DRY LOCATIONS DRY WALLS, HUNG CEILINGS, HOLLOW BLOCK WALLS AND FURRED SPACES. EMT SHALL NOT BE PERMITTED IN RAISED FLOORS.

FLEXIBLE STEEL CONDUIT SHALL BE UTILIZED FOR SHORT CONNECTIONS WHERE RIGID CONDUIT IS IMPRACTICAL. FROM OUTLET BOX TO RECEIVED LIGHTING FIXTURE, PROVIDE MINIMUM 4 FT AND MAXIMUM 6 FT LENGTH. FOR FINAL CONNECTION TO MOTOR TERMINAL BOX, TRANSFORMER AND OTHER VIBRATING EQUIPMENT, PROVIDE WITH POLYVINYL SHEATHING AND GROUND CONDUCTOR. MINIMUM LENGTH: 18 IN. WITH SLACK. CONNECT GROUND CONDUCTOR TO ENCLOSURE OR RACEWAY AT EACH END. FOR EXPANSION JOINT CROSSINGS, CROSS AT RIGHT ANGLES AND ANCHOR ENDS.

CUT CONDUIT ENDS SQUARE. REAM SMOOTH. PAINT MALE THREADS OF FIELD THREADED RACEWAYS WITH GRAPHITE BASE PIPE COMPOUND. DRAW UP TIGHT WITH RACEWAY COUPLING.

ALL COUPLINGS SHALL BE COMPRESSION OR SET SCREW TYPE.

EXPANSION FITTINGS SHALL BE INSTALLED AT RIGHT ANGLES WITH CLIP JOINT CENTERED IN EXPANSION JOINT. PROVIDE A LENGTH OF RUN IN ACCORDANCE MANUFACTURER'S RECOMMENDATIONS. PRESET FITTINGS SHALL ALLOW FOR TEMPERATURE VARIATION.

RACEWAYS PASSING THROUGH FIRE-RATED CONSTRUCTION: SEAL OPENING WITH FIRE SEALANT.

d. ERECT WALL AND SWITCH OUTLETS IN ADVANCE OF FURRING AND FIREPROOFING. OUTLET BOXES SHALL BE SET SQUARE AND TRUE WITH BUILDING FINISH, SECURE TO BUILDING STRUCTURE BY ADJUSTABLE STRAP IRON OR GROUT IN WITH MASONRY. VERIFY OUTLET LOCATIONS IN FINISHED SPACES WITH ARCHITECTURAL DRAWINGS OF INTERIOR DETAILS AND FINISHES. PROVIDE BARRIERS BETWEEN SWITCHES CONNECTED TO DIFFERENT PHASES FOR VOLTAGES EXCEEDING 150 VOLTS TO GROUND.

e. PANEL, JUNCTION AND FULL BOXES SHALL BE LOCATED CLEAR OF OTHER TRADES. CONCEAL JUNCTION AND FULL BOXES IN FINISHED SPACES, WHERE NECESSARY, REROUTE RACEWAYS OR MAKE OTHER ARRANGEMENTS FOR CONCEALMENT. BOXES SHALL BE ACCESSIBLE. SUPPORT BOXES FROM BUILDING STRUCTURE, INDEPENDENT OF CONDUIT. PROVIDE 1/2 IN. MINIMUM CLEARANCE FOR MOUNTING ON DRYWALL AND LIGHTTIGHT CONSTRUCTION OUTLET BOXES FOR FIXTURES RECEIVED IN HUNG CEILINGS SHALL BE ACCESSIBLE THROUGH OPENING CREATED BY REMOVAL OF FIXTURE. SECURE TO BLACK IRON SUPPORT, MOTOR TERMINAL BOXES; COORDINATE WITH MOTOR BRANCH CIRCUIT CONDUIT AND WIRING; ADD BOX VOLUME WHERE REQUIRED.

f. FIRE SEALANTS: PROVIDE FOR RACEWAYS AND WIRE PASSING THROUGH FLOOR SLOTS, SLEEVES OR OPENINGS IN FIRE-PARTITIONS ROOMS.

g. PERFORM CONTINUITY TESTS OF RESISTANCE OF FEEDER CONDUITS FROM SERVICE TO POINT OF FINAL DISTRIBUTION USING 1 CONDUCTOR RETURN. MAXIMUM RESISTANCE SHALL BE 25 OHMS.

10.0 WIRE AND CABLE:

10.1 PROVIDE WIRE AND CABLE COMPLETE WITH ACCESSORIES. SIZE REFERENCE SHALL BE AUG EXCEPT AS NOTED.

10.2 CONDUCTORS SHALL BE COPPER, ASTM STANDARD SOLID (NO. 10 AND SMALLER) OR STRANDED (NO. 8 AND LARGER). GENERAL USE CABLEING SHALL BE NO. 12 MINIMUM, AT 120 VOLTS AND OVER 100 FT CIRCUIT LENGTH PROVIDE NO. 10 MINIMUM, AT 265 VOLTS AND OVER 200 FT CIRCUIT LENGTH PROVIDE NO. 10 MINIMUM.

10.3 CONTROL AND ALARM CABLING, EXCEPT AS NOTED, SHALL BE NO. 14 MINIMUM, AT 120 VOLTS AND OVER 200 FT CIRCUIT LENGTH PROVIDE NO. 12 MINIMUM.

10.4 OTHER VOLTAGES AND PHASES: ADJUST CABLE SIZING AS REQUIRED TO MAINTAIN VOLTAGE DROP, INCREASE RACEWAY SIZES FOR LARGER WIRE AS REQUIRED.

10.5 WIRE AND CABLE CONTINUED:

10.5 INSULATION SHALL BE RUBBER AND THERMOPLASTIC MEETING ASTM AND ICEA STANDARDS. TYPE THW OR THHN SHALL BE UTILIZED FOR FEEDERS AND BRANCH CIRCUITS EXCEPT AS NOTED. TYPE 9FF-2 SHALL BE UTILIZED FOR BRANCH CIRCUITS LOCATED IN WIRING CHANNELS OF CONTINUOUS FLUORESCENT FIXTURES AND IN AMBIENT TEMPERATURES OVER 90 DEG C. FOR UNGROUNDED ISOLATED BRANCH CIRCUITS PROVIDE CROSS-LINKED POLYETHYLENE INSULATION (TYPE XHHW).

10.6 COLOR CODING SHALL BE AS FOLLOWS:

1) 120/208 VOLT SYSTEM:
BLACK FOR A PHASE
RED FOR B PHASE
BLUE FOR C PHASE

2) 277/480 VOLT SYSTEM:
BROWN FOR A PHASE
ORANGE FOR B PHASE
YELLOW FOR C PHASE

3) NEUTRAL WIRE SHALL UTILIZE WHITE OUTER COVERING THROUGHOUT. EQUIPMENT GROUND WIRE SHALL UTILIZE GREEN OUTER COVERING THROUGHOUT.

10.7 WHERE COLOR-CODED CABLE IS NOT AVAILABLE, CERTIFY IN WRITING AND REQUEST PERMISSION TO OVERLAP CONDUCTORS WITH 6 IN. OF COLOR TAPING IN ACCESSIBLE LOCATIONS.

10.8 PROVIDE FLAMEPROOF LINEN OR FIBER TAGS IN ACCESSIBLE LOCATIONS. FOR FEEDERS INDICATE FEEDER NUMBER, SIZE, PHASE AND POINTS OF ORIGIN AND TERMINATIONS. FOR CONTROL AND ALARM WIRING INDICATE TYPE (CONTROL OR ALARM), SIZE OF WIRE, AND POINTS OF ORIGIN AND TERMINATIONS.

10.9 TERMINATIONS, SPLICES AND TAPS UNDER 600 VOLTS: COPPER CONDUCTORS NO. 10 AND SMALLER SHALL UTILIZE COMPRESSION-TYPE OF TWIST-ON SPRING-LOADED CONNECTORS AND CLEAR WIREWAY NYLON-INSULATED COVERING. COPPER CONDUCTORS NO. 8 AND LARGER SHALL UTILIZE MECHANICAL BOLTED PRESSURE OR HYDRAULIC COMPRESSION TYPE USING MANUFACTURER'S RECOMMENDED TOOLING. CABLE LUGS AND CONNECTORS SHALL UTILIZE COMPRESSION TYPE OF SAME METAL AS CONDUCTOR PROVIDE TO MATCH CABLE WITH MARKING INDICATING SIZE AND TYPE. COPPER LUG CONNECTIONS TO BUS BARS: USE ANTISEIZE COMPOUND ON TANG.

10.10 NOT MORE THAN 3 LIGHTING OR CONVENIENCE OUTLET CIRCUITS SHALL BE INSTALLED IN ONE CONDUIT UNLESS OTHERWISE INDICATED. FULL NO THERMOPLASTIC WIRES AT TEMPERATURES LOWER THAN 32 DEG F. PROVIDE SEPARATE RACEWAYS FOR CONDUCTORS OF 120/208 AND 277/480 VOLT SYSTEMS EXCEPT 480 VOLT MOTOR BRANCH CIRCUIT WIRING AND RELATED 120 VOLT CONTROL WIRING. THERMOPLASTIC WIRES SHALL NOT BE INSTALLED IN COMPUTER AREA RAISED FLOORS.

10.11 LEAVE WIRES WITH SUFFICIENT SLACK TO PERMIT MAKING FINAL CONNECTIONS.

10.12 PERFORM CONTINUITY AND INSULATION TESTS. MEGGER TEST 100 PERCENT OF FEEDERS, 10 PERCENT OF BRANCH CIRCUITS AND ALL MOTOR BRANCH CIRCUITS OVER 25 HP.

10.13 PERFORM TESTS PRIOR TO CONNECTING EQUIPMENT AND IN PRESENCE OF AUTHORIZED REPRESENTATIVES. SUBMIT WRITTEN REPORT OF RESULTS, CORRECT OR REPLACE CABLE TESTING BELOW MANUFACTURER'S STANDARDS.

10.14 ALL LOW VOLTAGE WIRING ABOVE CEILING SHALL BE PLENUM RATED OR IN CONDUIT AS REQUIRED BY LOCAL JURISDICTION HAVING AUTHORITY.

11.0 DEVICES:

11.1 PROVIDE COMPLETE MATERIAL AND ACCESSORIES AS NOTED.

11.2 LOCAL WALL SWITCHES SHALL BE SPECIFICATION GRADE, TOGGLE, QUIET TYPE, RATED 20 AMP, 120/277 VOLT, AC.

11.3 INSERTION RECEPTACLES SHALL BE SPECIFICATION GRADE DUPLEX OR TWIST-ON SPRING-LOADED TYPE, 2 POLE, 3 WIRE, 1/4 GROUND SLOT, GROUNDING, EXCEPT AS NOTED. MEETING NEMA STANDARDS, PUBLICATION WD-1-1971.

1) SINGLE, EXCEPT AS NOTED:
a. 20 AMP STRAIGHT BLADE.
b. 125 VOLT, 2 POLE, 3 WIRE, GROUNDED.
2) SPECIAL USE: NONINTERCHANGEABLE TYPES AND RATINGS.
3) CLOCKS: SINGLE REGRESSED RECEPTACLE, 5 WIRE
4) GROUND FAULT INTERRUPTER RECEPTACLE:
a. FEED-THRU TYPE.

11.4 DEVICE PLATES: SEE ARCHITECT FOR TYPE FOR RECEPTACLES WITH OTHER THAN 120 VOLT, INSCRIBED VOLTAGE AVAILABLE.

11.5 COLORS: COORDINATE COLORS WITH ARCHITECT.

11.6 MOUNTING ORIENTATION OF RECEPTACLES (HORIZONTAL OR VERTICAL) COORDINATE WITH ARCHITECT.

12.0 LIGHTING FIXTURES:

12.1 PROVIDE FIXTURES ("LUMINARES"), COMPONENTS AND LAMPS. FIXTURES SHALL BE COMPLETELY FACTORY ASSEMBLED, WIRED AND EQUIPPED WITH ALL NECESSARY SOCKETS, BALLASTS, SUPPORTING HARDWARE AND ACCESSORIES. REFER TO DRAWINGS FOR INDIVIDUAL FIXTURE DESCRIPTIONS.

12.2 FIXTURE CATALOG NUMBERS USED TO ILLUSTRATE EQUIPMENT TYPE DO NOT NECESSARILY DENOTE REQUIRED MOUNTING EQUIPMENT OR ACCESSORIES. PROVIDE ACCESSORIES TO SUIT.

12.3 BALLAST: CLASS P, HIGH POWER FACTOR, LOWEST AVAILABLE NEMA RATED NOISE LEVEL, ETI AND CBM APPROVED, ENERGY SAVING TYPE. TRIGGER START FOR 24-INCH LAMPS AND RAPID START FOR 48-INCH, TWO LAMP BALLASTS AND THREE LAMP BALLASTS. BALLASTS SHALL BE ADVANCE MAGNETEK, UNIVERSAL OR EQUAL.

13.0 TELEPHONE CONDUIT SYSTEM:

13.1 PROVIDE COMPLETE SYSTEM OF: EMPTY CONDUIT, FULL BOXES, OUTLETS, SLEEVES AND FISHPULERS.

13.2 EQUIPMENT SHALL CONFORM TO REQUIREMENTS OF TELEPHONE COMPANY.

13.3 OUTLETS SHALL BE:
1) WALL: 4 IN. SQUARE WITH BUSHED COVER PLATE.
2) FLOOR: CAST IRON WITH LOW TENSION FITTING.

13.4 PROVIDE FISHPULERS, IN RACEWAYS OVER 10 FT LONG.

13.5 CONDUIT SHALL BE 3/4 IN. MINIMUM. FURNISH EMPTY CONDUIT FROM OUTLET TO NEAREST ACCESSIBLE HUNG CEILING.

REVISIONS

NO.	DATE	DESCRIPTION

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ELECTRICAL SPECIFICATIONS

PROFESSIONAL ENGINEER
No. 89480
8-27-2020
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DRAWN BY: WR
DATE: 5-29-20
PROJECT #: 1905
SHEET: E1

ELECTRICAL SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MOUNTING
	1 X 4 FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	2 X 4 FLUORESCENT FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	SHADING DENOTES FIXTURE WITH EM BATTERY PACK 'NL' DENOTES FIXTURE UNSWITCHED FOR NIGHT LIGHT	SEE FIXTURE SCHEDULE
	STRIP FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	WALL BRACKET FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	RECESSED DOWNLIGHT LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	EXIT-SHADING DENOTES FACEPLATE LOCATION. LETTER INDICATES TYPE. PROVIDE ARROWS AS REQUIRED.	SEE FIXTURE SCHEDULE
	SINGLE POLE SWITCH (20A-120/211) '3' DENOTES 3-WAY 'O' DENOTES OCCUPANCY SENSOR	48" AFF OR AS NOTED
	SINGLE POLE DIMMING SWITCH (20A-120/211)	48" AFF OR AS NOTED
	DUPLEX RECEPTACLE, 125V, 20A 'IG' DENOTES ISOLATED GROUND	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE, 125V, 20A	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE, 125V, 20A	48" AFF OR AS NOTED
	QUADRAPLEX RECEPTACLE, 125V, 20A	18" AFF OR AS NOTED
	COMBINATION VOICE/DATA OUTLET	18" AFF OR AS NOTED
	T.V. OUTLET	18" AFF OR AS NOTED
	PANELBOARD 120/240V	SEE PANEL SCHEDULE
	RACEWAY CONCEALED IN WALL OR ABOVE CEILING	SEE SPECIFICATIONS
	HOMERUN TO PANEL. LETTERS INDICATE PANEL, NUMBERS INDICATE CIRCUIT. NOTE: HASH MARKS INDICATES THE NUMBER OF WIRES EXCLUDING THE REQUIRED EQUIPMENT GROUND.	SEE SPECIFICATIONS
	MOTOR, NUMERAL INDICATES HORSEPOWER	AS NOTED
	MOTOR RATED SWITCH WITH OVERLOAD RELAYS IF REQUIRED.	MOUNTED ADJACENT TO EQUIPMENT
	NON-FUSIBLE SAFETY SWITCH-SIZE AS NOTED	SEE SPECIFICATIONS
	FUSIBLE SAFETY SWITCH-SIZE AS NOTED	SEE SPECIFICATIONS
	FIRE ALARM DUCT DETECTOR ('RA' DENOTES RETURN AIR, 'SA' DENOTES SUPPLY AIR)	MOUNTED IN HVAC DUCTWORK
	FAN OR AIR HANDLER SHUTDOWN RELAY	MOUNTED ADJACENT TO EQUIPMENT
	FIRE ALARM VISUAL SIGNAL	80" AFF OR AS NOTED
	FIRE ALARM MANUAL PULL STATION	48" AFF OR AS NOTED
	FIRE ALARM AUDIBLE/VISUAL SIGNAL. ADA COMPATIBLE	80" AFF OR AS NOTED
	FIRE ALARM SMOKE DETECTOR	ON CEILING OR AS NOTED
	FIRE ALARM PANEL ('FACP' DENOTES FIRE ALARM CONTROL PANEL, 'FAA' DENOTES ANNUNCIATOR)	60" AFF OR AS NOTED
	EX DENOTES EXISTING DEVICE OR CIRCUIT TO REMAIN	
	R DENOTE NEW LOCATION FOR RELOCATED DEVICE	
	(3) REFER TO LIKE NUMBERED NOTES	

NOTE: ALL MOUNTING HEIGHTS SHOWN ARE TO THE TOP OF THE DEVICE UNLESS NOTED OTHERWISE.
NOT ALL SYMBOLS APPEAR ON PLANS.

ABBREVIATIONS:

AFF - ABOVE FINISHED FLOOR	JB - JUNCTION BOX
AHU - AIR HANDLING UNIT	LRA - LOCKED ROTOR AMPERES
BFG - BELOW FINISHED GRADE	MCB - MAIN CIRCUIT BREAKER
C - CONDUIT	MLO - MAIN LUGS ONLY
CW - COOL WHITE	N - NEW
DACP - DOOR ALARM CONTROL PANEL	NL - NIGHT LIGHT
DN - DOWN	OB - OUTLET BOX
EF - EXHAUST FAN	PB - FULL BOX, PUSH-BUTTON
EG - EQUIPMENT GROUND	R - RELOCATED
ENCL - ENCLOSURE	RECEPT - RECEPTACLE
EWC - ELECTRIC WATER COOLER	SF - SUPPLY FAN
EWL - ELECTRIC WATER HEATER	SPEC - SPECIFICATIONS
EX - EXISTING	SWECS - SMOKE WARNING EMERGENCY CALL SYSTEM
FCU - FAN COIL UNIT	TL - TWISTLOCK
FHP - FRACTIONAL HORSE POWER	TTB - TELEPHONE TERMINAL BOARD
FLA - FULL LOAD AMPERES	TVTB - TELEVISION TERMINAL BOARD
G - GROUND	UNO - UNLESS NOTED OTHERWISE
GFI - GROUND FAULT INTERRUPTER	VERT - VERTICAL
HID - HIGH INTENSITY DISCHARGE	WM - WAIT MISCER
HORIZ - HORIZONTAL	WIP - WEATHERPROOF
IG - ISOLATED GROUND	WW - WARM WHITE
LW - LIGHT WHITE	XFMR - TRANSFORMER
HP - HORSEPOWER, HEAT PUMP	
HVAC - HEATING, VENTILATING, AIR CONDITIONING	

WATT STOPPER SENSOR TYPES (NOT ALL TYPES ARE USED)	
	DT-300 OCCUPANCY WITH POWER PACK FOR LARGE RMS CEILING MOUNT
	LS-102 LIGHT LEVEL WITH POWER PACK FOR LARGE RMS CEILING MOUNT
	DT-2250 FOR HALLWAYS CEILING MOUNT
	DT-355 FOR SMALL RMS 120V, 800W MAX, CEILING MOUNT
	DW-100 FOR SMALL RMS 120V, 800W MAX, WALL MOUNT
	BZ-250 POWER PACK FOR OCCUPANCY SENSOR
	1/2 SWITCHED RECEPTACLE CONTROLLED BY POWER PACK/OCCUPANCY SENSOR
	QUAD RECEPTACLE WITH ONE RECEPTACLE 1/2 SWITCHED CONTROLLED BY POWER PACK/OCCUPANCY SENSOR

System No. C-AJ-1259
F Rating - 3 Hr
T Rating - 0 Hr

Section A-A

- Floor or Wall Assembly** - Min 4-1/2 in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Floor may also be constructed of any min 6 in. thick UL Classified hollow-core **Precast Concrete Units**. Wall may also be constructed of any UL Classified **Concrete Blocks**. Max diam of opening is 7 in.
See **Concrete Blocks (CAZT)** and **Precast Concrete Units (CFTV)** categories in the Fire Resistance Directory for names of manufacturers.
- Through Penetrants** - One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. The annular space between the pipe, conduit or tubing and the periphery of the opening shall be a min of 0 in. (point contact) to a max of 3 in. Pipe, conduit or tubing to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes, conduit or tubing may be used:
 - Steel Pipe** - Nom 6 in. diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - Iron Pipe** - Nom 6 in. diam (or smaller) cast or ductile iron pipe.
 - Conduit** - Nom 4 in. diam (or smaller) steel electrical metallic tubing or steel conduit.
 - Copper Tube** - Nom 4 in. diam (or smaller) Type L (or heavier) copper tube.
- Forming Material** - (Optional, Not Shown) - Mineral wool batt packing material or polyurethane backer rod friction fitted into opening and recessed from floor or wall surfaces as required to accommodate required thickness of fill material.
- Fill, Void or Cavity Material - Sealant** - Min 1/2 in. thickness of fill material applied within the annulus, flush with both surfaces of floor or wall. At the point contact location between penetrating item and concrete, a min 1/4 in. thick bead of fill material shall be applied at the concrete/penetrating item interface on both sides of floor or wall.
SPECIFIED TECHNOLOGIES INC - SpecSeal Series SSS Sealant or SpecSeal LCI Sealant
*Bearing the UL Classification Mark

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C-AJ-1259
PAGE 1 OF 1

System No. W-L-1079
F Ratings - 1 and 2 Hr (See Item 1B)
T Rating - 0 Hr
L Rating At Ambient - Less Than 1 CFM/sq ft
L Rating At 400 F - Less Than 1 CFM/sq ft

Section A-A

- Wall Assembly** - The 1 or 2 hr fire-rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner described in the individual U300 or U400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs** - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC with nom 2 by 4 in. lumber end plates and cross braces. Steel studs to be min 3-5/8 in. wide and spaced max 24 in. OC.
 - Gypsum Board** - 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is in wood stud walls is 13 in. Max diam of opening in steel stud walls is 16 in. The hourly F rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.
- Through Penetrant** - One metallic pipe or conduit to be installed either concentrically or eccentrically within the firestop system. The annular space between pipes or conduits and periphery of opening shall be min 0 in. (point contact) to a max 3 in. Pipe or conduit to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes or conduits may be used:
 - Steel Pipe** - Nom 12 in. diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - Iron Pipe** - Nom 12 in. diam (or smaller) cast or ductile iron pipe.
 - Conduit** - Nom 4 in. diam (or smaller) electrical metallic tubing, nom 6 in. diam (or smaller) steel conduit or nom 1 in. diam (or smaller) flexible steel tubing.
 - Copper Pipe** - Nom 6 in. diam (or smaller) Regular (or heavier) copper pipe.
 - Copper Tube** - Nom 6 in. diam (or smaller) Type L (or heavier) copper tube.

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W-L-1079
PAGE 1 OF 2

PANELBOARD NAMEPLATE DETAIL
NOT TO SCALE

NAMEPLATE (TYPICAL) PANELBOARD SELF TAPPING SCREWS ENGRAVED LAMACOID, 5/32 INCH LETTERS

PANEL "A"

1 IN. 3 IN. PANELBOARD DESIGNATION

STANDARD COLORS:
1. NORMAL POWER - BLACK BACKGROUND, WHITE LETTERS
2. EMERGENCY POWER - RED BACKGROUND, WHITE LETTERING

NAMEPLATES ARE REQUIRED ON ALL PANELBOARDS, STARTERS AND DISCONNECT SWITCHES.

RECESSED FIXTURE SUPPORT DETAIL
NOT TO SCALE

EXISTING STRUCTURE HILTI CC21 CLIP OR EQUAL

#2 SAFETY WIRE TIED TO SAFETY WIRE SUPPORT HOLES & FASTENED TO BLDG. STRUCTURE. MINIMUM (2) SAFETY WIRES PER LIGHT FIXTURE PLACED AT DIAGONAL CORNERS

ALL WIRES ARE TO BE TAUT WITH A MINIMUM OF 3 TIGHT TURNS AROUND SELF-TYPICAL EXPOSED T-BAR CEILING

LIGHT FIXTURE SAFETY WIRE SUPPORT HOLE, TYPICAL

Occupancy Sensor
CEILING OCCUPANCY SENSOR INSTALLATION
NOT TO SCALE

Retaining Nut Retaining Washer CEILING STRUCTURE Occupancy Sensor

Power Pack
High voltage connection made inside J-box

SINGLE OR MULTIPLE OCC. SENSOR W/ONE POWER PACK
NOT TO SCALE

Local Off Switch

Neutral Wht Blk Red

Hot Blk Blk Red

Power Pack

Control Output

Common

+24VDC

Any 24VDC Ceiling/Wall Sensor

Control Output

Common

+24VDC

Any 24VDC Ceiling/Wall Sensor

Control Output

Common

+24VDC

Any 24VDC Ceiling/Wall Sensor

Note: Maximum number of sensors per power pack depends on the model of sensor. See the product data sheet to determine the specific current consumption of each sensor.

REVISIONS

NO.	DATE	DESCRIPTION

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EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST. PETERSBURG, 33713

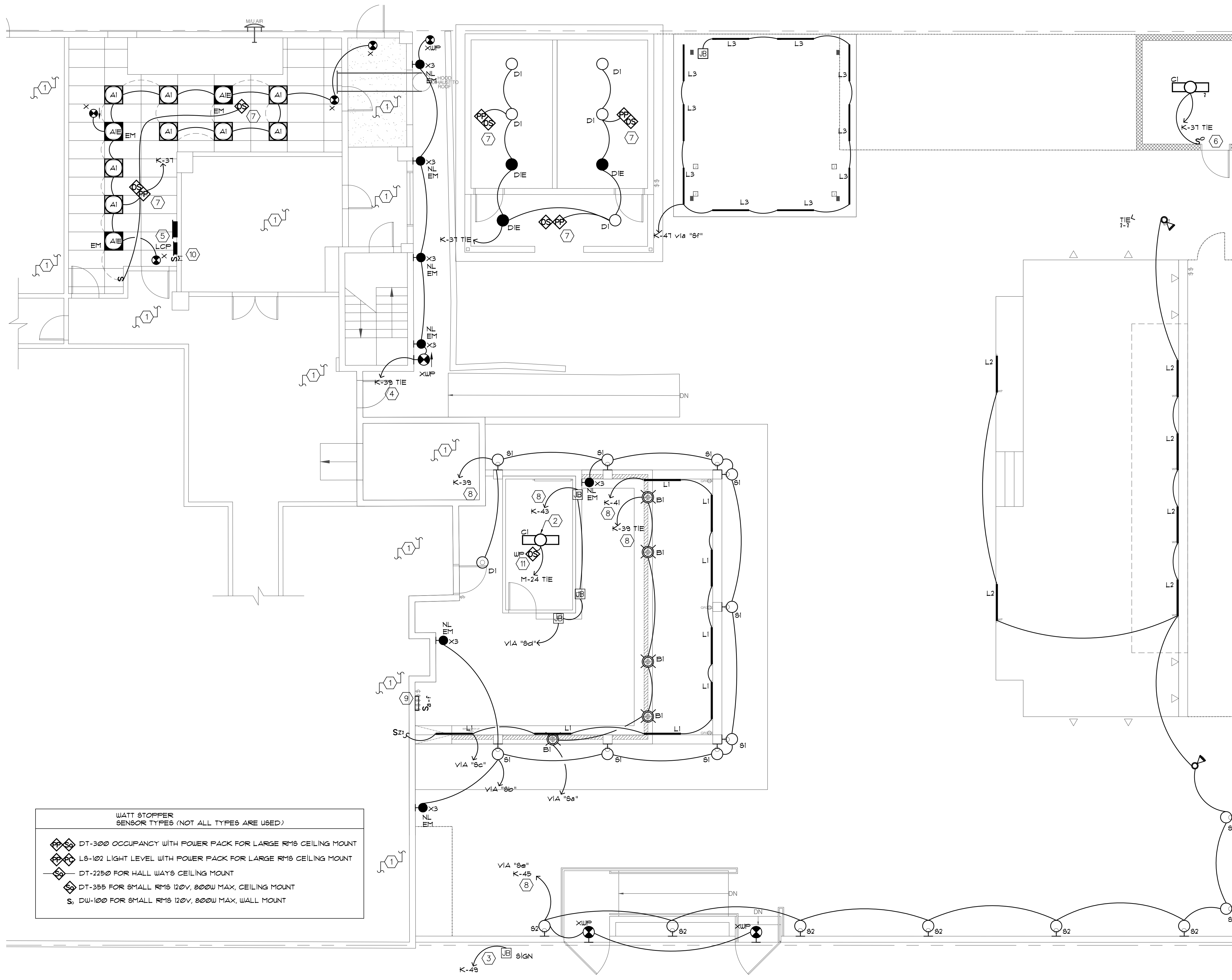
ELECTRICAL LEGEND & DETAILS

NO. 59480
8-27-2020
STATE OF FLORIDA
PROFESSIONAL ENGINEER

LANG + FERFOGLIA
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DRAWN BY: WR
DATE: 5-29-20
PROJECT #: 1905
SHEET: E2



WATT STOPPER SENSOR TYPES (NOT ALL TYPES ARE USED)

	DT-300 OCCUPANCY WITH POWER PACK FOR LARGE RM'S CEILING MOUNT
	LS-102 LIGHT LEVEL WITH POWER PACK FOR LARGE RM'S CEILING MOUNT
	DT-2290 FOR HALL WAY'S CEILING MOUNT
	DT-355 FOR SMALL RM'S 120V, 800W MAX, CEILING MOUNT
	DW-100 FOR SMALL RM'S 120V, 800W MAX, WALL MOUNT

- DRAWING NOTES**
- ELECTRICAL WORK IN THIS AREA IS EXISTING TO E/MAIN
 - WALK-IN LIGHTS INSTALLED BY G.C. COORDINATE WITH EQUIPMENT SUPPLIER AND G.C.
 - PROVIDE FINAL CONNECTION TO SIGN, COORDINATE WITH SIGN INSTALLER. SEE ARCHITECTURAL ELEVATIONS.
 - ROUTE HOME RUN VIA LIGHTING CONTROL PANEL (LCP). COORDINATE WITH OWNER. ENTIRE BRANCH CIRCUIT SHALL BE #10 IN 3/4" C.
 - PROVIDE A LIGHTING CONTROL PANEL (LCP) BLUEBOX BY LCP4 WITH 16 RELAYS/ZONES AND TIMELOCK. REFER TO STORE LIGHTING CONTROL ZONE ON THIS SHEET FOR REQUIREMENTS.
 - PROVIDE A WALL MOUNTED OCCUPANCY SENSOR FOR THE CONTROL OF THIS ROOM.
 - PROVIDE A CEILING MOUNTED OCCUPANCY SENSOR FOR THE CONTROL OF THIS ROOM/AREA. PROVIDE POWER PACK AS NEEDED.
 - ROUTE HOME RUN VIA SWITCH AND THEN LIGHTING CONTROL PANEL (LCP). PROVIDE AN UN-SWITCHED CONDUCTOR THROUGHOUT THE CIRCUIT FOR ALL EMERGENCY, NIGHT AND EXIT LIGHTS.
 - PROVIDE SWITCH BANK FOR LIGHT CONTROL. COORDINATE EXACT LOCATION WITH OWNER.
 - DIGITAL SWITCH FOR LIGHT CONTROL AND AFTER HOURS OVER RIDE OF LIGHTING CONTROL PANEL.
 - PROVIDE UP OCCUPANCY SENSOR SWITCH FOR WALK-IN COOLER. ENSURE SENSOR SWITCH IS SUITABLE FOR TEMPERATURE OF SPACE. COORDINATE FINAL REQUIREMENTS WITH EQUIPMENT SUPPLIER AND OWNER.

- GENERAL NOTES:**
- PROVIDE ALL FLUORESCENT FIXTURES WITH BALLAST DISCONNECTING MEANS PER NEC
 - "NL" DESIGNATION INDICATES FIXTURE TO BE NIGHT LIGHT, CIRCUITED HOT FOR CONTINUOUS OPERATION.
 - PROVIDE RED ILLUMINATED SWITCH FOR HOOD EXHAUST FAN CONTROL AND LIGHTS. PROVIDE TAG ABOVE SWITCH IDENTIFYING HOOD USE.
 - EQUIPMENT LOCATIONS INDICATED ARE APPROXIMATE. COORDINATE EXACT LOCATIONS AND REQUIRED CLEARANCES WITH EQUIPMENT SUPPLIER AND ALL TRADES PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE EQUIPMENT INDICATED WITHIN THESE DRAWINGS UNLESS OTHERWISE NOTED. VERIFY LOCATION AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND / OR INSTALLATION.
 - ALL ROOF PENETRATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE. COORDINATE WITH OWNER'S ROOFING CONTRACTOR SO AS NOT TO VOID ANY EXISTING ROOF WARRANTIES.
 - THE ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND / OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY ARCHITECT OR OWNER.
 - ALL WORK SHALL BE SUBJECT TO THE ACCEPTANCE AND APPROVAL OF THE ARCHITECT AND OWNER. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE OF PROPER NOTIFICATION DOES NOT RELIEVE THE CONTRACTOR. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
 - COORDINATE ALL EQUIPMENT UTILITY INFORMATION SHOWN ON THIS SHEET WITH THE KITCHEN EQUIPMENT SCHEDULE AND EQUIPMENT MANUFACTURER'S CUT SHEETS.
 - ALL JUNCTION BOXES SHOWN ON THIS PLAN ARE TO BE INSTALLED ABOVE THE FINISHED CEILING.
 - PROVIDE WOOD BLOCKING BEHIND ALL EXTERIOR LIGHTING FIXTURES COORDINATE WITH GENERAL CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LATEST KITCHEN PLANS AND EQUIPMENT CUTS SHEETS FOR PROPER EQUIPMENT LOCATIONS AND CONNECTION REQUIREMENTS PRIOR TO STARTING WORK.

- LIGHTING CONTROL GENERAL NOTES:**
- LIGHTING CONTROL PANEL SHALL BE PROVIDED BY LIGHTING CONTROL #4 DESIGN OR APPROVED EQUAL.
 - UPON INSTALLATION THE LIGHTING CONTROL PANEL TO BE PROGRAMMED BY SUPPLIER REMOTELY VIA THE ADJACENT PHONE JACK BASED ON OPERATION DIRECTIVES AND TIMES PROVIDED BY THE FRANCHISEE.
 - A PHONE JACK MUST BE PROVIDED IN CLOSE PROXIMITY TO THE PANELS, SO THAT THE JUMPER CAN BE SET TO REMOTELY PROGRAM.
 - THE SHARING OF NEUTRALS IS STRICTLY PROHIBITED.
 - THE CONTRACTOR SHALL PROVIDE A FUNCTIONAL TEST OF THE LIGHTING CONTROL SYSTEM PER ENERGY CONSERVATION SECTION 408.3 BY THE MANUFACTURER'S REP PRIOR TO FINAL INSPECTION. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND A/J THE CERTIFICATION FROM THE MANUFACTURER THAT THE LIGHTING CONTROL SYSTEMS HAVE BEEN TESTED TO ENSURE THAT CONTROL, HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTRUCTIONS. FUNCTIONAL TESTING SHALL BE IN ACCORDANCE WITH SECTIONS C408.3.1.1 AND C408.3.1.2 FOR APPLICATION CONTROL TYPE.
 - THE CONTRACTOR SHALL PROVIDE DRAWINGS AND MANUALS TO THE OWNER PER FBC ENERGY CONSERVATION SECTION C408.6.4.

1 ELECTRICAL LIGHTING PLAN
SCALE: 3/16" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

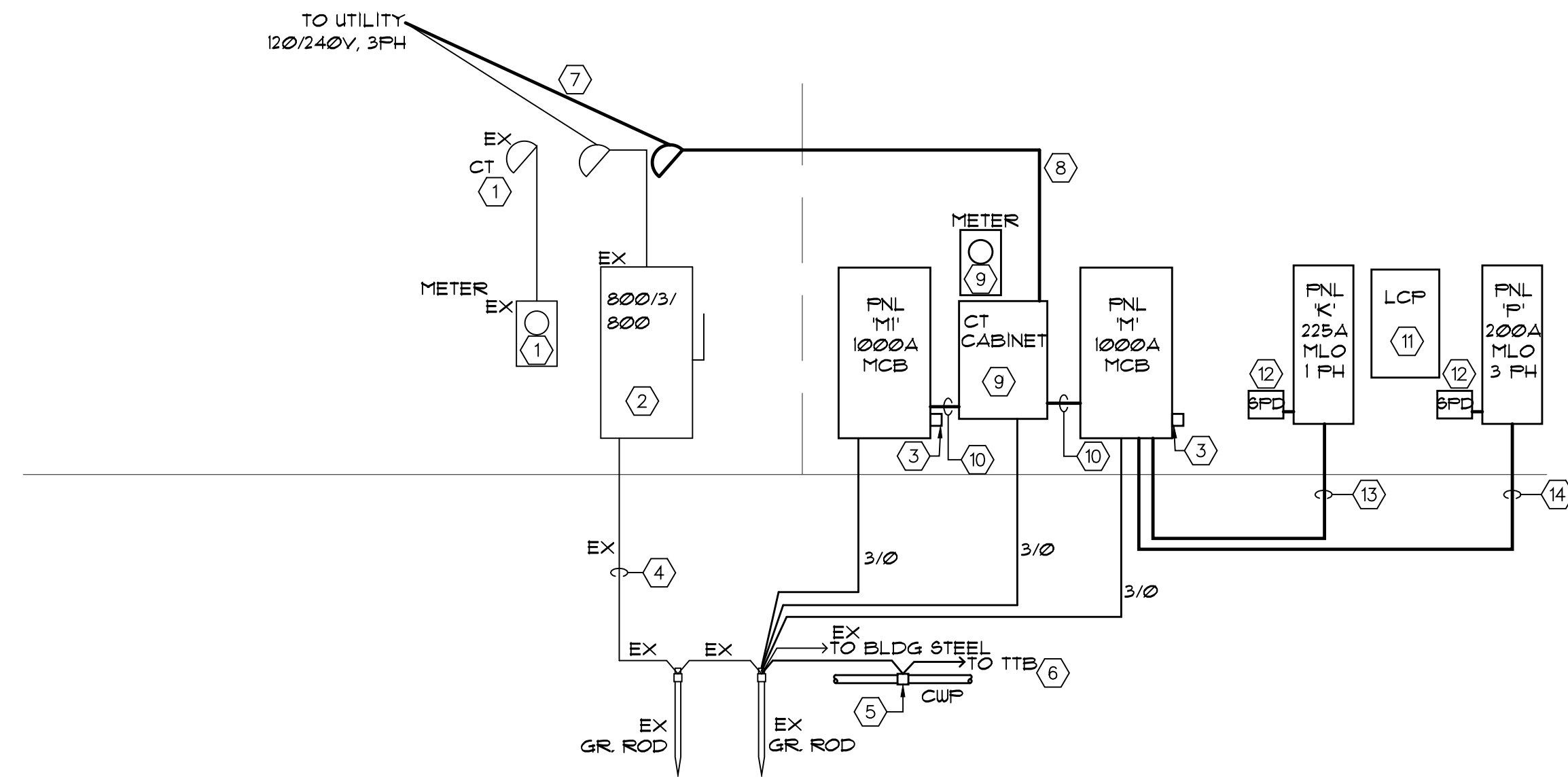
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DRAWN BY: WR
 DATE: 5-29-20
 PROJECT #: 1905
 SHEET: E3

EXTERIOR POOL & BAR ADDITION
 2349 CENTRAL AVENUE, ST PETERSBURG, 33713
 ELECTRICAL LIGHTING PLAN

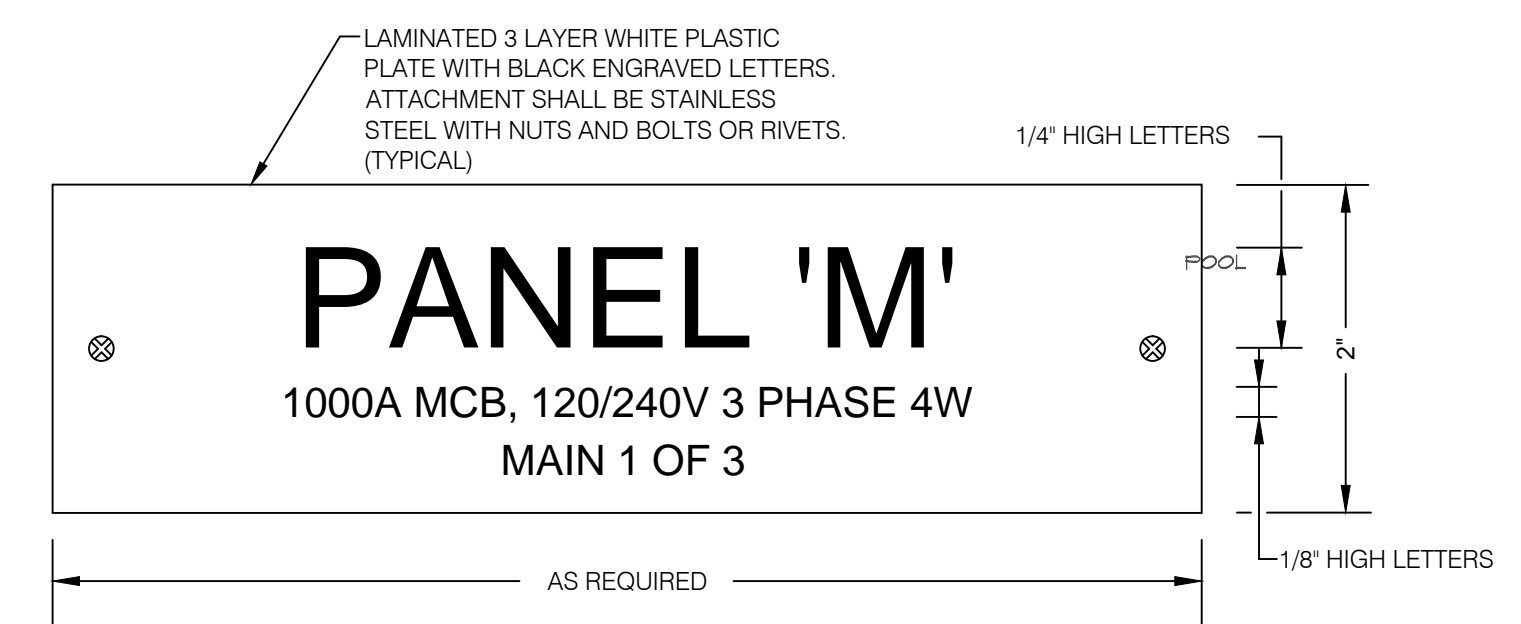


RISER NOTES

- EXISTING 120/240V, 3PH OVERHEAD SERVICE, METER, RACK MOUNTED CT TO REMAIN.
- EXISTING 800 AMP'S BUILDING MAIN TO REMAIN. FIELD VERIFY EXACT REQUIREMENTS.
- PROVIDE UL LISTED LIGHTNING ARRESTOR, SQUARE D OR APPROVED EQUIVALENT.
- EXISTING GROUND ELECTRODE SYSTEM. FIELD VERIFY PROPER CONNECTIONS TO DRIVEN GROUND RODS, BUILDING STEEL AND FOUNDATION AND REPAIR IF REQUIRED.
- BOND OF THE METALLIC COLD WATER PIPE TO THE GROUND ELECTRODE SYSTEM.
- EXTEND A #4 GEC IN 3/4" C TO THE TELEPHONE TERMINAL BOARD.
- NEW 120/240V, 3PH OVERHEAD SERVICE.
- EXTEND (6) SETS OF 4 #400 KCMIL IN 3" C EACH.
- NEW CT CABINET AND METER TO DUKE ENERGY STANDARDS, BOND THE CT CABINET TO THE GEC SYSTEM.

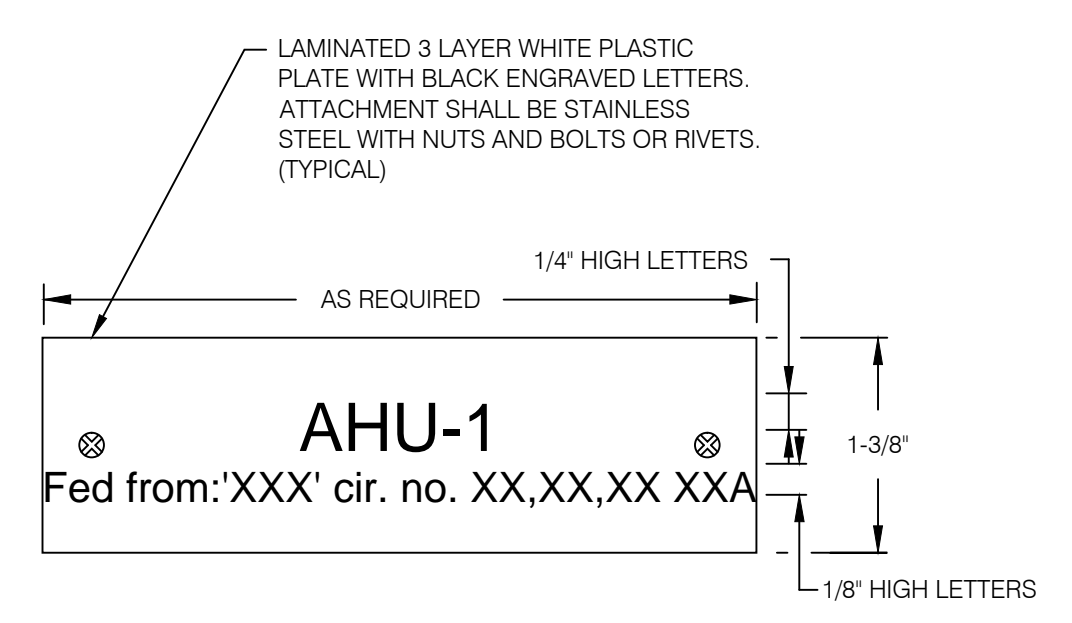
- 3 SETS OF 4 #400 KCMIL IN 3" C EACH
- PROVIDE A LIGHTING CONTROL PANEL (LCP) BLUEBOX BY LCI4 OR APPROVED EQUAL WITH 8 RELAYS/ZONES AND TIMECLOCK.
- PROVIDE A SURGE PROTECTIVE DEVICE PQ SERIES BY LEA OR APPROVED EQUIVALENT. PROVIDE WITH VOLTAGE AND PHASE TO MATCH PANEL. EXTEND #10 TO BREAKER IN 3/4" C AS STRAIGHT AS POSSIBLE. SPD SHALL BE RATED FOR 100KAIC AND PROTECT ALL PHASES.
- 3 #4/0 AND 1 #4 EG IN 2-1/2" C
- 4 #3/0 AND 1 #6 EG IN 2" C

ELECTRICAL RISER DIAGRAM
SCALE: NOT TO SCALE

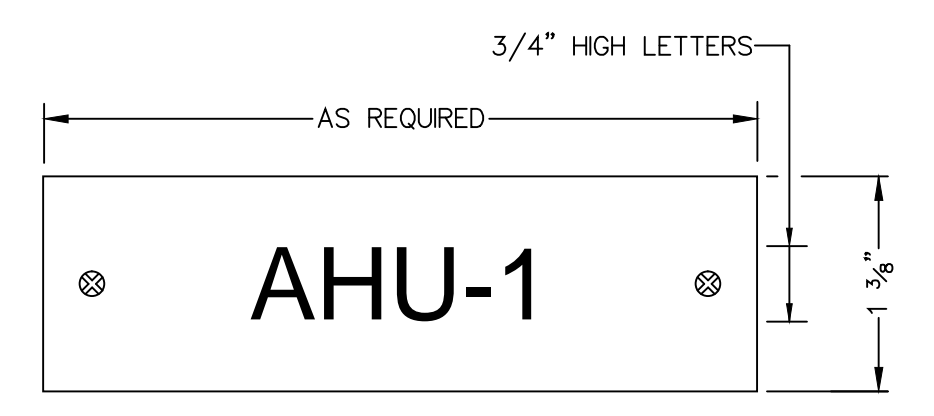


- NOTES:**
- NEW NAMEPLATES MUST BE INSTALLED ON ALL ELECTRICAL PANELS TEMPORARY NAMEPLATES ARE NOT ACCEPTABLE.
 - THE AMPERAGE RATING ENGRAVED ON THE NAMEPLATE SHALL BE THE RATING OF THE MAIN OVERCURRENT PROTECTION DEVICE, OR ITS TRIP DEVICE SETTING, OR DESIGN BUS CAPACITY IN THE ABSENCE OF A MAIN OVER CURRENT DEVICE, NOT THE SWITCHBOARD OR PANELBOARD BUS RATING.
 - REFER TO SPECIFICATIONS FOR NAMEPLATE REQUIREMENTS.

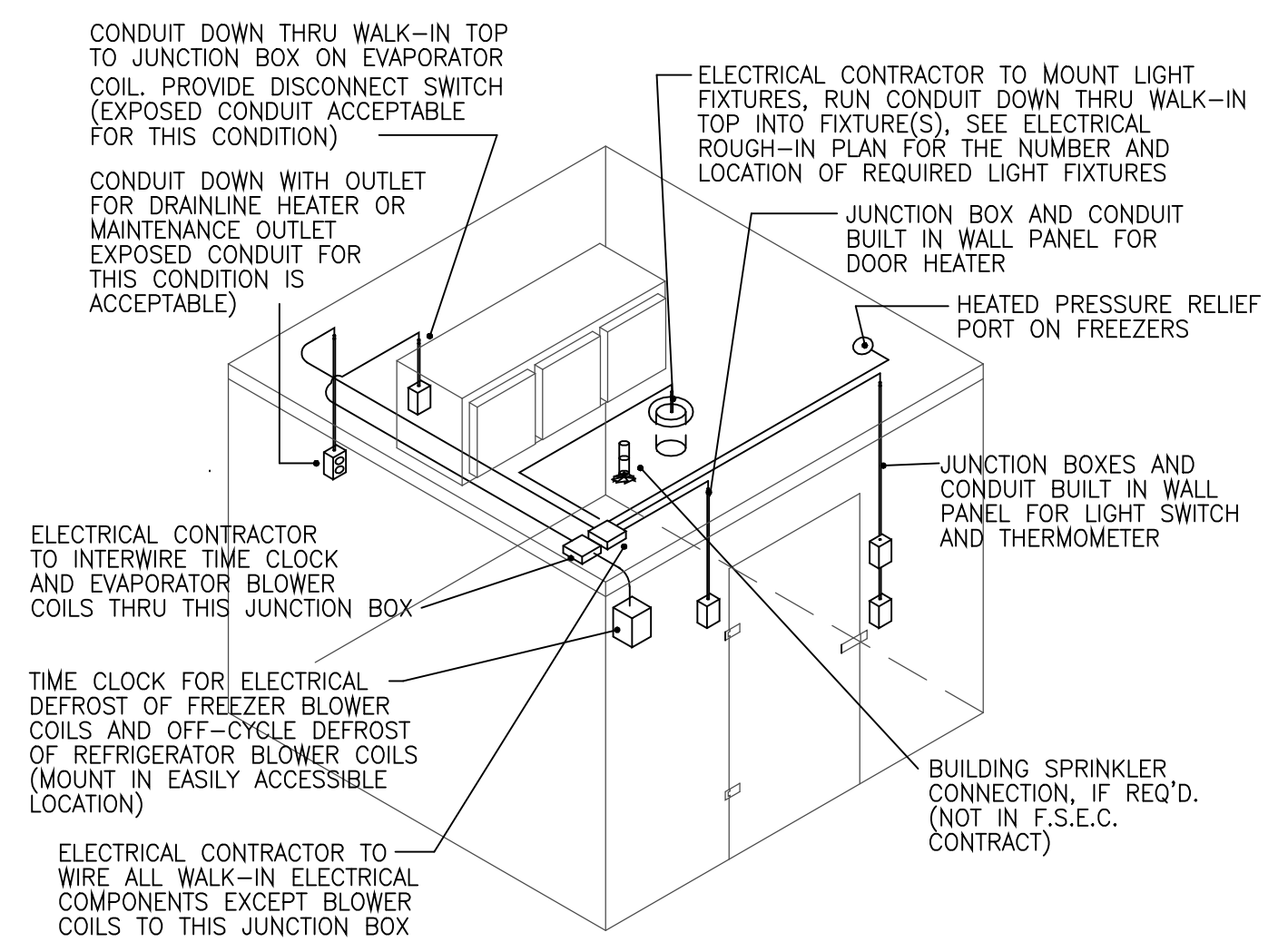
TYPICAL PANELBOARD NAMEPLATE DETAIL
NOT TO SCALE



TYPICAL EQUIPMENT DISCONNECT NAMEPLATE DETAIL
NOT TO SCALE



EQUIPMENT NAMEPLATE DETAILS
NOT TO SCALE



- GENERAL NOTES:**
- ALL INTERCONNECTING CONDUIT TO BE RUN ABOVE WALK-IN OR BUILT-IN THE WALL PANELS, EXPOSED CONDUIT WILL NOT BE ACCEPTABLE EXCEPT FOR THE CONDITIONS SHOWN AND NOTED IN THE ABOVE ILLUSTRATION
 - SEAL ALL PENETRATIONS THRU WALK-IN TOP, WALL PANELS AND INSIDE ELECTRICAL CONDUIT WITH THERMAL MASTIC
 - PROVIDE HOLE FOR SPRINKLER HEAD (IF REQUIRED) AND AFTER INSTALLATION SEAL WITH THERMAL MASTIC

WALK-IN WIRING DETAIL

FAULT CURRENT STUDY
CABLE IMPEDANCE VALUES BASED ON IEEE STD. 241-1990, TABLE 65.
PROJECT: 2349 CENTRAL AVENUE, ST. PETERSBURG FL.

SYSTEM VOLTAGE: 208
ASSUMED BASE KVA: 500
UTILITY COMPANY AFC: 69532
UTILITY COMPANY X/R RATIO: 12

WIRE TYPE CU-1
WIRE TYPE AL-2
PVC CONDUIT

BUS	SOURCE AFC	SOURCE X/R	WIRE SIZE	WIRE TYPE	# OF RUNS	FEEDER LENGTH	BUS X/R	BUS AFC
PANEL MI	69532	12.00	400	1	3	30	4.87	57974
PANEL M	69532	12.00	400	1	3	30	4.87	57974
PANEL 'P'	57974	4.87	30	1	1	130	0.71	11183
PANEL 'K'	11183	0.71	40	1	1	45	0.69	10336

FAULT CURRENT STUDY NOTE:

- THE ELECTRICAL CONTRACTOR SHALL OBTAIN A LETTER FROM UTILITY COMPANY FOR THE AVAILABLE FAULT CURRENT AT THE SECONDARY TERMINALS AT THE INSTALLED UTILITY TRANSFORMER. NOTIFY ENGINEER IF THE AVAILABLE FAULT CURRENT EXCEEDS THE BASIS OF DESIGN.

VOLTAGE DROP STUDY
PROJECT: 2349 CENTRAL AVENUE, ST. PETERSBURG FL.

WIRE TYPE CU-1
WIRE TYPE AL-2

FROM	TO	DISTANCE IN FEET	LOAD CURRENT	WIRE TYPE	WIRE SIZE	# OF RUNS	PHASE	LINE VOLTS	UTILITY FROM XFMR	UTILITY FROM XFMR	TOTAL VOLTS DROP	% VOLTS DROP
XSFMR	PANEL MI	30	800	1	400	3	3	240	0.37	0.16		
XSFMR	PANEL M	30	800	1	400	3	3	240	0.37	0.16		
PANEL M	PANEL 'P'	130	150	1	30	1	3	240	2.55	1.06		
PANEL M	PANEL 'K'	45	150	1	40	1	1	240	1.06	0.44		

VOLTAGE DROP STUDY TYPICAL BRANCH CIRCUIT CALCULATIONS
ALL COPPER BRANCH CIRCUITS

WIRE TYPE CU-1
WIRE TYPE AL-2

FROM	TO	DISTANCE IN FEET	LOAD CURRENT	WIRE TYPE	WIRE SIZE	# OF RUNS	PHASE	LINE VOLTS	TOTAL VOLTS DROP FROM PANEL	% VOLTS DROP FROM PANEL
TYPICAL MAXIMUM 20 AMP CIRCUIT LENGTHS										
PANEL	1000 VA LOAD	130	8	1	12	1	1	120	3.57	3.0
PANEL	1000 VA LOAD	210	8	1	10	1	1	120	3.63	3.0
PANEL	1200 VA LOAD	110	10	1	12	1	1	120	3.64	3.0
PANEL	1200 VA LOAD	175	10	1	10	1	1	120	3.64	3.0
PANEL	1500 VA LOAD	87	13	1	12	1	1	120	3.60	3.0
PANEL	1500 VA LOAD	140	13	1	10	1	1	120	3.64	3.0
PANEL	1800 VA LOAD	72	15	1	12	1	1	120	3.57	3.0
PANEL	1800 VA LOAD	115	15	1	10	1	1	120	3.59	3.0

VOLTAGE DROP NOTES:

- ALL CONDUCTORS SHALL BE INSTALLED TO COMPLY WITH THE VOLTAGE DROP REQUIREMENTS. FEEDER VOLTAGE DROP SHALL NOT EXCEED 2%. BRANCH CIRCUIT VOLTAGE DROP SHALL NOT EXCEED 3%.

REVISIONS

NO.	DATE	DESCRIPTION

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EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST. PETERSBURG, 33713

PROFESSIONAL ENGINEER
No. 59480
8-27-2020
STATE OF FLORIDA

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DRAWN BY: IT/WR
DATE:
PROJECT #:
SHEET: **E5**

PANEL M		SURFACE MOUNTED 120/240 VOLT 3 PHASE 4 WIRE WITH GROUND SERVICE ENTRANCE RATED										1000A MCB NEMA 3R 65,000 AIC	
NOTES	CKT. NO.	DESCRIPTION	BREAKER			A	B	C	BREAKER			CKT. NO.	NOTES
			TRIP	POLE	VOLT				VOLT	POLE	TRIP		
	2	ROOF SERVICE RECEPT	20	1	120	360	12000					2	5
	3	SPACE (H-LEG)											4
	5	PANEL K	200	3	240			18109	12000			6	5
	7					22597	3325					8	7
	9	SPACE (H-LEG)										10	7
	4	AHU-1	80	2	240			7339	3325			12	7
	4	13				7339	1000					20	1
	15	SPACE (H-LEG)										1	20
	17	CU-1	40	2	240			2676	1440			240	2
	19											2	20
	21	SPACE (H-LEG)										1	22
	23	SPARE	20	1	120					1500	120	1	20
	25	SPARE	200	3	240						240	3	15
	27							1053					28
	29									1053			30
	31	SPARE	200	3	240		1649				240	3	20
	33								1649				34
	35									1649			36
	37	SPARE	400	3	240		250				120	1	20
	39												40
	41												42
CONNECTED VA SYSTEM VOLTS			53685			18027			49091				
CONNECTED VA SYSTEM VOLTS			120/240V, 3 PHASE										
CONNECTED VA SYSTEM VOLTS			417			150			409				
CONNECTED VA SYSTEM VOLTS			120/240V, 3 PHASE										
NOTES	LOAD TYPE	CONNECTED	NEC DEMAND	DEMAND LOAD									
1	LIGHTING	0	1.25	0	VA								
2	RECEPTACLES	360	220.13	360	VA								
3	AIR CONDITIONING	0	0	0	VA								
4	HEATING	14678	1	14678	VA								
5	MISC. NON-CONTINUOUS	86562	1	86562	VA								
6	CONTINUOUS	0	1.25	0	VA								
7	KITCHEN	13855	0.65	9005.75	VA								
			TOTAL	110606	VA								
120/240V, 3 PHASE												266 AMPS	

PANEL K		SURFACE MOUNTED 120/240 VOLT 1 PHASE 3 WIRE WITH GROUND										225A MCB NEMA 1 22,000 AIC	
NOTES	CKT. NO.	DESCRIPTION	BREAKER			A	B	C	BREAKER			CKT. NO.	NOTES
			TRIP	POLE	VOLT				VOLT	POLE	TRIP		
	7	FRYER FILTER K1 (*)	20	1	120	1200	6106					2	7
	3	(SHUNT TRIP)								6106			4
	2	HOOD GP RECEPT (*)	20	1	120	360	120				120	1	20
	7	(SHUNT TRIP)											8
	7	REACH IN REFRIDGE K4	20	1	120	1680	312			312	120	1	20
	7	1 DOOR REACH IN FREEZER K5	20	1	120			960	500	120	1	20	12
	7	SANDWICH TABLE K6	20	1	120	936	432				120	1	20
	7	SANDWICH TABLE K6	20	1	120			936	475	120	1	20	14
	7	UC WORK TABLE K8	20	1	120	636	475				120	1	20
	7	HEAT LAMP K10	20	1	120			1700	360	120	1	20	16
	5	POS K27 PRINTER K28	20	1	120	500	900				120	1	20
	5	ANSUL SYSTEM CONTROL K26	20	1	120			250	1800	120	1	20	18
	7	SANDWICH TABLE K11	20	1	120	936	1824				120	1	20
	2	KITCHEN GP RECEPT	20	1	120			180	1000	120	1	20	20
	2	RESTROOM RECEPT	20	1	120	360	1000				120	1	20
	2	MUSIC CABANA RECEPT	20	1	120			360	1000	120	1	20	22
	2	MUSIC CABANA RECEPT	20	1	120	720	1000				120	1	20
	2	MUSIC CABANA RECEPT	20	1	120			720		120	1	20	32
	1	KITCHEN RR LIGHTS	20	1	120	496					120	1	20
	1	BAR LIGHTS	20	1	120			210		120	1	20	34
	1	BAR FESTOON LIGHTS	20	1	120	450				120	1	20	36
	1	BACK BAR LIGHTS	20	1	120			1000		120	1	20	38
	1	POOL AREA LIGHTS (**)	20	1	120	654				120	1	20	40
	1	POOL AREA LIGHTS (**)	20	1	120			240		120	1	20	42
	1	SIGN	20	1	120	1500				120	1	20	44
	51	SPACE									240	2	30
	53	SPACE											52
CONNECTED VA SYSTEM VOLTS			22597			18109							
CONNECTED VA SYSTEM VOLTS			120/240V, 3 PHASE										
CONNECTED VA SYSTEM VOLTS			188			151							
CONNECTED VA SYSTEM VOLTS			120/240V, 1 PHASE										
NOTES	LOAD TYPE	CONNECTED	NEC DEMAND	DEMAND LOAD									
1	LIGHTING	4550	1.25	5688	VA								
2	RECEPTACLES	7960	1	7960	VA								
3	AIR CONDITIONING	0	0	0	VA								
4	HEATING	0	0	0	VA								
5	MISC. NON-CONTINUOUS	3050	1	3050	VA								
6	CONTINUOUS	0	1.25	0	VA								
7	KITCHEN	25146	0.65	16345	VA								
			TOTAL	33042	VA								
120/240V, 1 PHASE												138 AMPS	

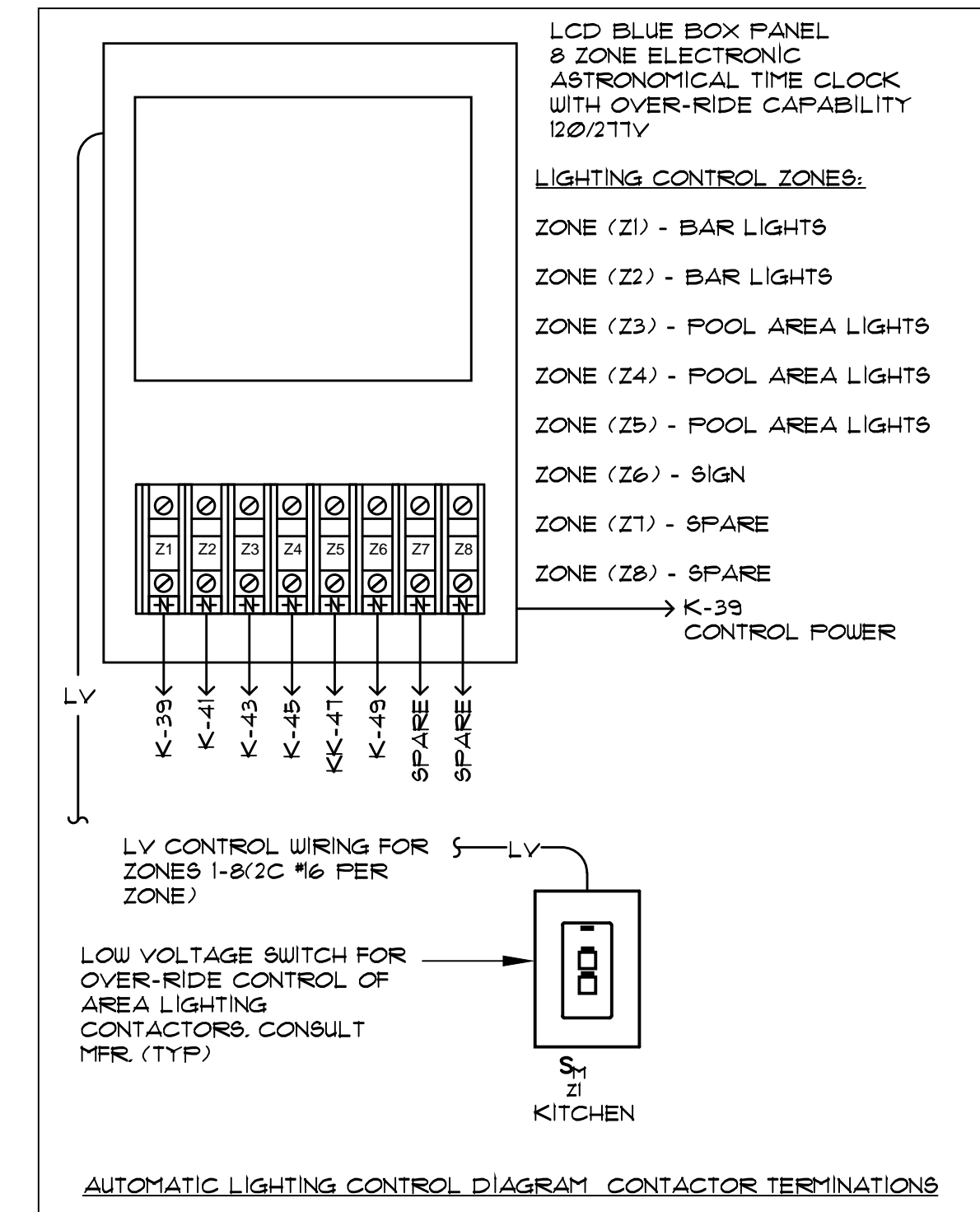
NOTES ()
* PROVIDE WITH SHUNT TRIP MECHANISM
INTRLOCK WITH HOOD ANSUL SYSTEM
** PROVIDE AS GFI STYLE BREAKER

PANEL M1		SURFACE MOUNTED 120/240 VOLT 3 PHASE 4 WIRE WITH GROUND SERVICE ENTRANCE RATED										1000A MCB NEMA 3R 65,000 AIC	
NOTES	CKT. NO.	DESCRIPTION	BREAKER			A	B	C	BREAKER			CKT. NO.	NOTES
			TRIP	POLE	VOLT				VOLT	POLE	TRIP		
	1	SPACE (H-LEG)	20	1	120								2
	3	SPACE (H-LEG)											4
	5	SPACE (H-LEG)	200	2	240								6
	7	SPACE (H-LEG)											8
	9	SPACE (H-LEG)											10
	11	SPACE (H-LEG)	200	2	240								12
	13	SPACE (H-LEG)											14
	15	SPACE (H-LEG)											16
	17	SPACE (H-LEG)	200	2	240								18
	19												20
	21	SPACE (H-LEG)											22
	23	SPACE (H-LEG)	200	2	240								24
	25												26
	27	SPACE (H-LEG)											28
	29	SPACE (H-LEG)	200	2	240								30
	31												32
	33	SPACE (H-LEG)											34
	35	SPACE (H-LEG)	200	2	240								36
	37												38
	39	SPACE (H-LEG)											40
	41	SPACE (H-LEG)											42
CONNECTED VA SYSTEM VOLTS			0			0			0				
CONNECTED VA SYSTEM VOLTS			120/240V, 3 PHASE										
CONNECTED VA SYSTEM VOLTS			0			0			0				
CONNECTED VA SYSTEM VOLTS			120/240V, 3 PHASE										
NOTES	LOAD TYPE	CONNECTED	NEC DEMAND	DEMAND LOAD									
1	LIGHTING	0	1.25	0	VA								
2	RECEPTACLES	0	220.13	0	VA								
3	AIR CONDITIONING	0	0	0	VA								
4	HEATING	0	0	0	VA								
5	MISC. NON-CONTINUOUS	0	1	0	VA								
6	CONTINUOUS	0	1.25	0	VA								
7	KITCHEN	0	0.65	0	VA								
			TOTAL	0	VA								
120/240V, 3 PHASE												0 AMPS	

ELECTRICAL BAR EQUIPMENT SCHEDULE														
EQUIP #	QTY	DESCRIPTION	MANUFACTURER	MODEL	VOLT	PH	AMPS	VA	CKT. SIZE	WIRE & CONDUIT	RECEPT.	J-BOX	HEIGHT	REMARKS
B1		FREEZER COMP/EVAP			240	3	24	9976	30	4#10, 1/4" C		YES	ROOF	30" NP/3R DISCONNECT PROVIDE TIME CLOCK WIRING
B1		FREEZER HEAT TAPE			120	1	8.5	1000	20	3#12, 1/2"		YES	60"	WP J-BOX
B1		COOLER COMP			240	1	12	2880	20	3#12, 1/2"		YES	ROOF	30" NP/3R DISCONNECT PROVIDE TIME CLOCK WIRING
B1		WALK-IN COOLER EVAP/LIGHTS	KOLPAK	CUSTOM	120	1	12	1440	20	3#12, 1/2"		YES	CLG	3# WP DISCONNECT FOR EVAP
B4		SODA RACK			120	1	10	1200	20	3#12, 1/2"			5-20R	4E PROVIDE FINAL CONNECTION TO COMPRESSOR
B4		HORIZONTAL BEER COOLER 60"	ADVANTCO	17#BBB68HC	120	1	2.6	312	20	3#12, 1/2"			5-20R	4E JUST BELOW BAR TOP
B9		HORIZONTAL BEER COOLER 80"	ADVANTCO	17#BBB68HC	120	1	3.7	432	20	3#12, 1/2"			5-20R	4E JUST BELOW BAR TOP
B10		ICE MACHINE	SCOTSMAN	CO590-5A-1D	120	1	15.2	1824	20	3#12, 1/2"			5-20R	4E
B11		GLASS FRONT BEER COOLER	ADVANTCO	17#B7528HC	120	1	3.96	4						

LIGHTING ALLOWANCE CALCULATION						
2017 FBC						
ROOM NAME	AREA	WATTAGE ALLOWED PER SQUARE FOOT	TOTAL WATTAGE ALLOWED	LAMP TYPE	BALLAST QUANTITY	BALLAST WATTAGE
DINING AREA	1450	1.07	1551.5			
				TYPE 'B1'	5	15
				TYPE 'L1'	70	6
				TYPE 'S1'	8	15
				TYPE 'D1'	1	18
RESTROOMS	500	0.98	490			
				TYPE 'D1-D1E'	8	18
FOOD PREP	575	1.21	695.75			
				TYPE 'A1-A1E'	11	32
TOTALS	2525		2737.25			1129
					COMPLIES BY	1608.25

FIXTURE SCHEDULE						
SYM	MANUFACTURER	CATALOG NUMBER	LAMPS	WATTAGE	DESCRIPTION	
A1	LITHONIA	EPANEL LED FLAT PANEL EPANL 2X2 3400LM-80CRI-35K-MIN10-ZT-MVOLT-	3500 K 3400 LM	32	2X2 LAY-IN	
A1E	LITHONIA	EPANEL LED FLAT PANEL EPANL 2X2 3400LM-80CRI-35K-MIN10-ZT-MVOLT-EL14	3500 K 3400 LM	32	2X2 LAY-IN WITH EMERGENCY BATTERY BALLAST	
B1	TBD	BY OWNER		15	PENDANT LIGHT OVER BAR	
C1	BY MFR	FURNISHED WITH COOLER		32	SURFACE MOUNTED IN COOLER	
D1	LITHONIA	LDN6-35-15-L06-AR-LS-MVOLT	3500 K 1500 LM	18	6" ROUND RECESSED DOWN LIGHT	
D1E	LITHONIA	LDN6-35-15-L06-AR-LS-MVOLT-EL	3500 K 1500 LM	18	6" ROUND RECESSED DOWN LIGHT WITH EMERGENCY BATTERY BALLAST	
L1	TBD	BY OWNER	LED	6W/FT	FESTOON LIGHTING LOCATED AT BAR	
L2	TBD	BY OWNER	LED	6W/FT	WATERPROOF FESTOON LIGHTING LOCATED AT POOL	
L3	TBD	BY OWNER	LED	6W/FT	FESTOON LIGHTING LOCATED AT MUSIC CABANA	
S1	TBD	BY OWNER	LED	15	WALL MOUNTED SCENCE AT BAR AREA	
S2	TBD	BY OWNER	LED	15	WALL MOUNTED SCENCE AT PATIO AREA	
X1	LITHONIA	LHQM	LED	3.8	EXIT SIGN	
XWP	LITHONIA	WLTC	LED	5	EXIT/EM LIGHT WITH BATTERY BACKUP WEATHER PROOF	
X3	LITHONIA	AFN	LED	5	EMERGENCY LIGHT WITH BATTERY BACKUP WEATHER PROOF. CONNECT SO LIGHT OPERATES AS A NORMAL FIXTURE AND PROVIDE AN UNSWITCHED CONDUCTOR FOR BATTERY BALLAST	
HT FIXTURES SPECIFIC TO THEIR SITE						



1 ELECTRICAL LIGHTING DETAILS
SCALE: NOT TO SCALE

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNRESOLVED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

DESIGNER: E.C. LANG, ARCHITECT, INTERIORS AND OTHER PROPERTY RIGHTS IN THESE PLANS ARE RESERVED BY THE ARCHITECT. NO PART OF THESE PLANS OR INSTRUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION OF THE ARCHITECT. THESE PLANS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THESE PLANS. ANY OTHER USE OF THESE PLANS WITHOUT THE WRITING OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

PROFESSIONAL STATEMENT TO THE BEST OF HIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 558 AND 626, LAWS OF FLORIDA.

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Professional Engineering Services

EXTERIOR POOL & BAR ADDITION
2349 CENTRAL AVENUE, ST PETERSBURG, 33713

ELECTRICAL LIGHTING PLAN

FLORIDA PROFESSIONAL ENGINEER
No. 69480
8-27-2020
STATE OF FLORIDA

FL LICENSE #A18100254 JAA REGISTRATION #39211970
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TEL: (727) 656-5677

LANG + FERFOLLIA
ARCHITECTURE I DEVELOPMENT

DRAWN BY: WR
DATE: 5-29-20
PROJECT #: 1905
SHEET: E7



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission

Certificate of Appropriateness Request

For **Public Hearing** and **Executive Action** on December 11, 2018 beginning at 2:00 p.m. in Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning and Development Services Department records, no commissioner resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



MARI JEAN HOTEL — CENTRAL AVE. AT TWENTY-FOURTH ST. — ST. PETERSBURG, FLORIDA

Case No.:	18-90200052
Address:	2349 Central Avenue
Legal Description:	ST PETERSBURG INVESTMENT CO SUB BLK 20, LOTS 8 THRU 11
Parcel ID No.:	23-31-16-78390-020-0080
Date of Construction:	1926
Local Landmark:	Mari-Jean Hotel (HPC Case No. 00-02)
Owner:	Mari Jean Hotel LLC, Mari Jean Boutique LLC, and Elizabeth Street Lofts Inc
Request:	Request for the approval of a Certificate of Appropriateness for the alteration of a local historic landmark

Historical Context and Significance

The Mari-Jean Hotel was constructed in 1926 by W. B. Ferguson for local developer and engineer George F. Young. The Mediterranean Revival-style building was listed in the St. Petersburg Register of Historic Places in 2000 (HPC 00-02) under the following criteria:

- B. Its location is the site of a significant local, state, or national event;
- E. Its value as a building is recognized for the quality of its architecture, and it retains sufficient elements showing its architectural significance; and
- F. It has distinguishing characteristics of an architectural style valuable for the study or a period, method of construction, or use of indigenous materials.

Areas of Significance include Architecture and Commerce/Tourism. The listed Period of Significance is 1926-1950.

According to the designation staff report, the most character-defining features include:

- Red tile roofs,
- Mission parapets,
- Spiral-fluted pilasters with Corinthian capitals, and
- Decorative entry with pyramidal tile-roof entry tower and cartouche.

Although the hotel has retained a high degree of integrity overall, non-historic alterations noted in the staff report include:

- Removal of the storefront windows facing Central Avenue and 24th Street North (south and west elevations) and replacement with small, out-of-scale windows,
- The 1974 replacement of all wooden windows with aluminum windows, and
- The addition of second and third-floor corridors in the 1980s.

The subject property has been utilized in recent years as an assisted living facility, and then briefly as a hotel, though it is not presently operational. The applicant's goals for this rehabilitation include restoration of the historic use of commercial space at street level with hotel rooms above, as well as the construction of a pool and associated structures in the area to the east of the building.

Project Description and Review

Project Summary

At the Central Avenue-facing (south) elevation, the application (Appendix A) proposes the reclamation of the historic storefront openings and the introduction of a combination of fixed light and rollup windows, as well as single-acting and double-acting windowed doors. These openings would serve to provide a connection between interior restaurant space and a sidewalk café.

At the east side elevation, the application proposes the construction of a covered bar area to be affixed to the building, as well as a semi-detached restroom building, an inground pool, deck, and a series of cabanas.

It should be noted that, while the courtyard as a whole will function as part of the subject property and its operations as a hotel and bar/restaurant space, the local historic designation boundary includes only the western portion of this area. The applicant now owns the area shown Figure 1, which includes lots 9 through 12 of St. Petersburg Investment Co Sub Blk 20. However, the historic landmark designation approved through HPC 00-02 encompasses only lots 9 through 11. As a result, the easternmost 45 feet of

the area shown in plans submitted as part of the application (roughly the western edge of the proposed pool) are not subject to COA approval.

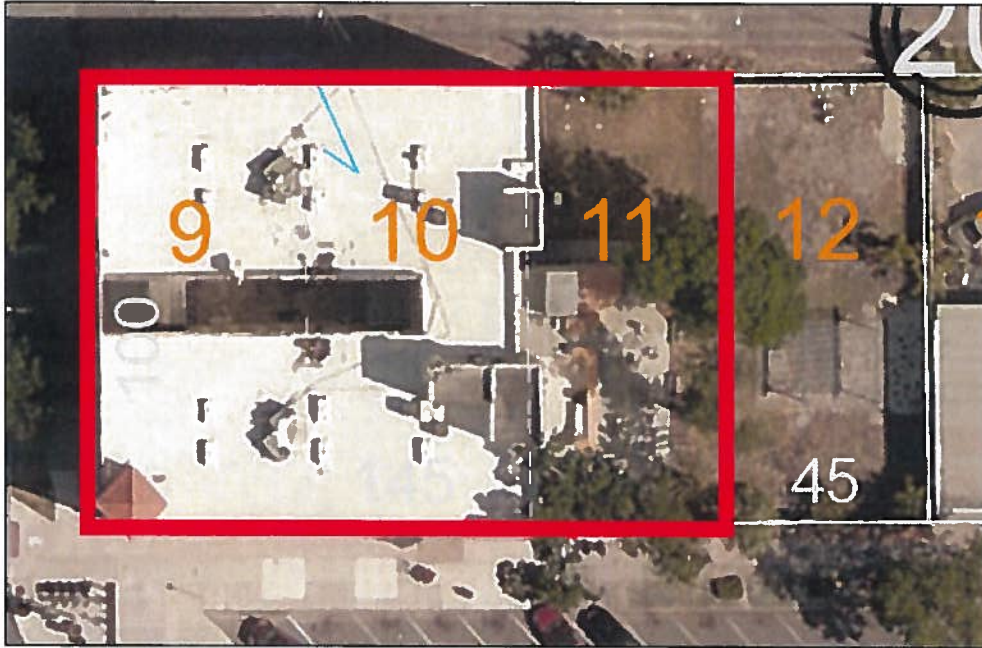


Figure 1: Area being considered as part of application 18-90200052, with boundary of designation HPC 00-02 shown in red. The proposed courtyard will functionally include "Lot 12," but it is not legally within the boundaries of local historic landmark HPC 00-02.

General Criteria for Granting Certificates of Appropriateness

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

With certain recommended conditions, the proposed project appears to be appropriate under this criterion. The overall impact to the historic resource will be moderate.

Storefront Windows

The restoration of the historic storefront openings along the south elevation will, overall, improve the subject property's historic integrity. The historic design of these storefronts contained a much higher degree of transparency than presently exists in the partially-enclosed openings. This transparency, as well as the arrangement of windows into visual units ranging from roughly 9 to 15 feet, is a major component of the interesting, dynamic, and pedestrian-scaled character that defines the early-twentieth century mixed-use commercial building.

Despite the improvement the reclamation of these historic openings will bring, however, the appropriateness of the proposed rollup window units along the primary façade of a local historic landmark is an issue that should be considered carefully by Commissioners in their review of this application. Although all extant material in their proposed locations is unarguably non-historic, rollup windows will reflect a distinctly contemporary aesthetic. Additionally the heavy, almost industrial appearance of the proposed rollup windows will alter the historic texture, which relied on large plate-glass windows to maximize both light and display space for goods.

Staff suggests that sliding or pivoting ("swing door") windows be considered as a condition of approval. As shown in Figure 2, the smaller window units at either end were historically comprised of a single pane

between a transom featuring vertical divisions and a low base, while the larger units consisted of a door flanked by two single light windows.

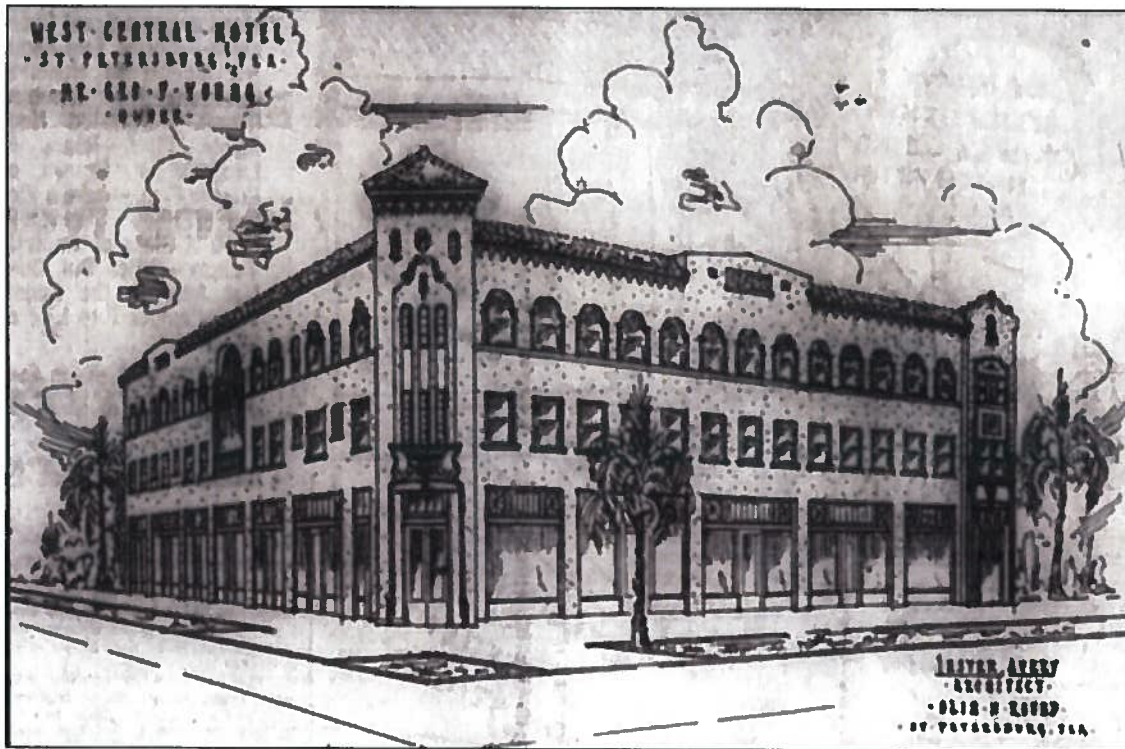


Figure 2: Drawing of Mari-Jean Hotel in construction announcement, *St. Petersburg Times*, September 11, 1925.

General examples of what staff recommends as a more appropriate configuration are shown in Figure 1, Figure 3, which pivots and can therefore allow the full width of the opening to be exposed, and Figure 4, which features sliding units that would lie flat but require the opening to remain partially closed.



Figure 3: Example of pivot-type windows. Image courtesy of storefrontdoors.org and included as an example only.



Figure 4: Example of sliding storefront window. Image courtesy of nanawall.com and included as an example only.

The proposed flat awnings above each unit of windows are in keeping with the style of those found on similar local buildings historically. However, in the case of flat, fixed awnings, placement between the transom and main window appears to have been the preferred configuration, as seen in **Error! Reference source not found.**. This placement allowed commercial spaces to maximize the interior light gain through the higher transom, as well as receive shade and weather protection from the awning structure. Awnings, especially those along main commercial corridors such as Central Avenue, tended to be deep enough to provide both complete shade to the windows they protected and comfort from sun or rain to pedestrians at street level, encouraging more time spent taking in the goods shown in shop windows.

Although a single unit that spanned multiple window units (rather than individual awnings for each window, as shown) appears to have been most common, a continuous unit might appear overbearing for this building. For this reason, staff recommends that the awnings be approved as shown, but with a placement that is beneath the transom windows and above the main windows.

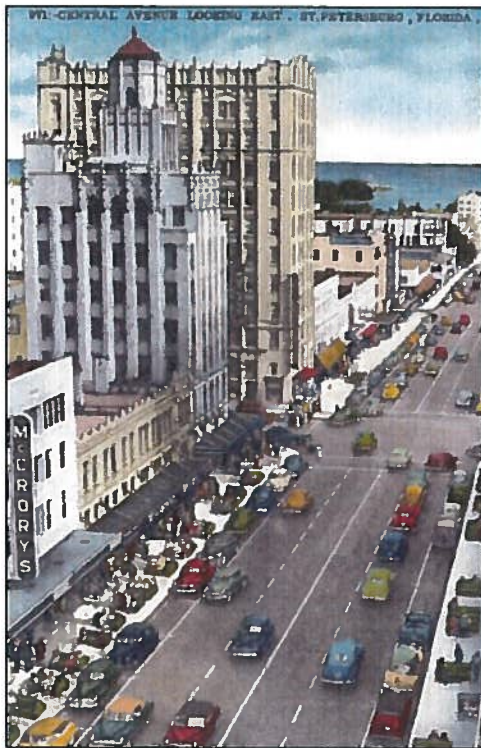


Figure 5: Undated historic postcard showing numerous awning configurations along Central Avenue. Note placement both above and below transom windows. Postcard on file, City of St. Petersburg.

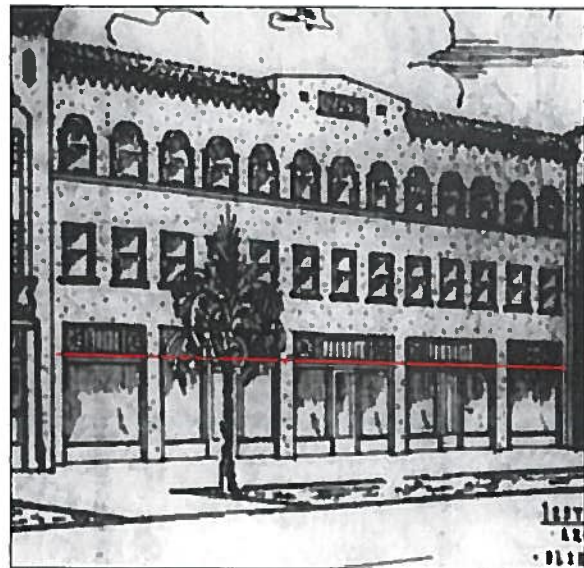


Figure 6: Newspaper image of subject property with recommended placement of awning line shown in red.

Courtyard Improvements

The east elevation of the subject property is presently quite utilitarian, featuring minimal fenestration and the non-historic addition of an elevator shaft. The proposed covered bar and semi-detached restroom building both feature hipped metal roofs to be connected to the east elevation near its center and northern edge. Although the roof structures will be affixed to the building, the bar structure and restroom building will not, and the walk-in cooler associated with the bar appears to affect only the non-historic

elevator shaft. As such, the proposed courtyard improvements will minimally affect the historic building's materials and significant features. Staff recommends that the roof material of these structures be changed from metal to clay tile to reference the style of the historic structure.

2. The relationship between such work and other structures on the landmark site or other property in the historic district.

The proposed project appears to be appropriate under this criterion.

The subject property is an individual landmark and not part of a designated district, though its general surroundings do have the feel of a traditional early-twentieth century commercial district of medium density. The restoration of the historic window openings will add to this aspect of the streetscape.

The area of the proposed courtyard is already partially-enclosed by a wall; the application proposes the replacement of a solid walk with semi-transparent punched concrete block, with the stated intention of increasing transparency in accordance with the overall goal of creating a more pedestrian-oriented building.

3. The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.

The proposed project appears to meet this criterion.

The recommended Conditions of Approval will address the introduction of two materials not historically found at the subject property or in local examples of the Mediterranean Revival style: rollup doors and metal roof cladding.

4. Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.

The recommended Conditions of Approval appear to be reasonable with relation to this criterion.

5. Whether the plans may be reasonably carried out by the applicant.

The proposed project appears to be appropriate under this criterion. The proposed plans appear to be reasonably designed and likely to be carried out by the applicant.

6. A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.

This criterion is not applicable to the proposed project.

Additional Guidelines for Alterations

1. A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed property appears to meet this criterion.

As noted above, the subject property was recently returned to hotel use after several decades of use as an assisted living facility. This use was short-lived and the building is currently vacant awaiting this rehabilitation. This rehabilitation will return not only its overall historic use as a hotel, but the more public commercial use facing central.

2. The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.

The proposed project appears to meet this criterion. The majority of the improvements being proposed herein will affect previous alterations.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.

The proposed project appears to meet this criterion.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.

The proposed project appears to meet this criterion. The alterations to the south elevation storefronts appear to have occurred after the Period of Significance.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The proposed project appears to meet this criterion.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project appears to meet this criterion with the exception of the appropriateness of rollup doors, as discussed above.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

This criterion is not relevant to the proposed project.

8. Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.

This criterion is not relevant to the proposed project.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the alteration of the Mari-Jean Hotel (HPC 00-02), a local historic landmark of the St. Petersburg Register of Historic Places.

Recommended Conditions of Approval:

1. The windows at the south elevation shall be comprised of horizontally sliding units or pivoting units, in addition to the fixed windows and doors proposed, rather than rollup units, and to be approved by staff. The visible material of the frames shall be either a solid color or wooden, but not metallic.
2. Window and door units and transom lights shall be set within wall plane at least three inches to reference common historic configurations.
3. Flat, fixed awnings shall be placed between transom and display windows and at least eight feet deep, pursuant to approval by the City's Engineering Department.
4. Where proposed, muntins shall be external and three-dimensional, whether as simulated divided light or true divided light windows.
5. Clay tile roof surfaces shall be used in lieu of metal at the proposed courtyard bar and restroom building.
6. Except as noted, historic design, materials and forms are to be retained in-kind.
7. Any design changes not included as part of this COA review and approval, shall require the approval of the CPPC, except for minor changes as deemed appropriate by the Historic Preservation staff.

Appendix A:

Application No. 18-90200052



CERTIFICATE OF APPROPRIATENESS

Application No. COA 18-90200052.

List of Required Submittals

CITY OF ST. PETERSBURG
OCT 30 2018
PLANNING & ECONOMIC DEVELOPMENT

Included in this packet:

- General Information
- COA Approval Matrix
- Application
- Narrative

Only complete applications will be accepted:

- Completed COA application form
- Application fee payment
(See fee schedule in General Information section)
- Site plan or survey of the subject property:
 - To scale on 8.5" x 11" paper
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions and exact locations of all property lines, structures, parking spaces and landscaping
- Elevation drawings:
 - On 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - Depicts all sides of existing & proposed structure(s)
- Samples or a detailed brochure for new materials to be used
- Photographs of the subject property and structures in question

The following items are optional, but strongly suggested:

- Floor plans:
 - To scale: on 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - North arrow
 - Locations of all doorways, windows, and walls (interior & exterior)
 - Dimensions and area of each room

Planning and Economic Development Department

Urban Planning and Historic Preservation Division

http://www.stpete.org/historic_preservation

City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33713
727 / 893.7471

Last Updated: 09/12/2012

Note: A Historic Preservation Inspection is required as part of the Building Permit process. A final building inspection will not be conducted until the Historic Preservation Inspection is approved or waived by Historic Preservation staff.

Completeness review by city staff:



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CERTIFICATE OF APPROPRIATENESS

GENERAL INFORMATION

Purpose

The Historic Preservation Ordinance, City Code Section 16.30.070, requires issuance of a Certificate of Appropriateness (COA) prior to any exterior alteration to a locally designated landmark or property within a locally designated historic district. Exterior alterations include, but are not limited to, the following work: changes to walls, roof, or windows; painting unpainted masonry; additions; relocation, and demolition. Building new structures and demolition requests within a historic district, as well as any digging or replacement of plantings on a designated archaeological site also require a COA. The intent of the COA is to insure that the integrity and character of the landmark or historic district is maintained.

Pre-Application Meeting

All applicants must schedule a pre-application meeting with Staff prior to an application being accepted. Staff requests that all pre-application meetings be scheduled at least one (1) week prior to the application deadline (see Community Preservation Commission Schedule). Minor maintenance projects can often be approved at this meeting. Pre-application meetings can be scheduled by calling (727) 892-5470.

At the meeting, staff will determine if the application is appropriate for administrative approval based upon the COA Approval Matrix as per the regulations in the Historic Preservation Ordinance. Although legal notification is mandatory for administrative approvals, these applications will not require a public hearing unless an appeal is filed with the Urban Planning and Historic Preservation Division. Permits must be obtained within 18 months of approval. Staff shall have the discretion to refer any case to the Community Preservation Commission.

Application Submittal

Only complete applications will be accepted. (See the List of Required Submittals for COA applications.) Complete applications must be filed by 2:00 PM on the application deadline date. Per the Commission's Rules of Procedure, a maximum of twelve (12) applications may be scheduled for any given public hearing. This limit does not apply to applications which are determined by the Urban Planning and Historic Preservation Division to be appropriate for administrative approval. Applications requiring a public hearing are scheduled in the order received. Applications in excess of twelve (12) which require a public hearing shall be scheduled for the next available regular meeting.

Fee Schedule

Commission Review		Staff Review	
Additions	\$ 300.00	General Application	\$ 50.00
Appeal	\$ 250.00	Appeal	\$ 250.00
Alterations and Repair	\$ 300.00		
Demolition (primary building)	\$ 1,000.00		
Demolition (accessory structure)	\$ 500.00		
New Construction	\$ 300.00		
Relocation	\$ 500.00		
<i>After-the-Fact – Twice the initial fee</i>			
<i>Revision of previously approved COA - ½ of the original fee</i>			

Site Plans, Floor Plans, and Elevation Drawings

All applications for the Community Preservation Commission require a detailed, accurate site plan or survey and elevation drawings. Some applications for the Commission may require floor plans as well. Staff strongly encourages applicants to retain the services of a design professional to prepare the required plans. The City is unable to accept site plans, floor plans, or elevations that are incomplete, illegible, unclear, or do not meet the criteria listed on the "List of Required Submittals." Such determinations are made at the discretion of the City.



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CERTIFICATE OF APPROPRIATENESS

GENERAL INFORMATION

Community Preservation Commission Review

By applying to the Community Preservation Commission, the applicant grants permission for Staff and members of the Community Preservation Commission to visit the subject property to evaluate the request. Applicants with special requests related to timing of site visits should advise Staff in writing at the time of application submittal. Any Code violations found by the City Staff or the Community Preservation Commission members during review of the subject case will be referred to the Codes Compliance Assistance Department.

Legal Notification

All applications made to the Community Preservation Commission are required by City Code to provide public notification of Certificate of Appropriateness applications. The applicant will be required to post a sign on the subject property and to hand deliver, or send via the U.S. Postal Service, notification letters to all property owners within 200 feet of the subject property. The City will provide one original notification letter and procedures to complete the posting of the sign and the notification of property owners. The applicant will be responsible for obtaining a list of properties and mailing labels from the Pinellas County Property Appraiser. These legal notifications must be mailed by the dates noted on the Community Preservation Commission schedule with verification of mailing returned to staff within seven (7) days of the meeting date.

Public Hearing

Applications appropriate for public hearing will be heard by the Community Preservation Commission on the dates listed on the Community Preservation Commission Schedule. The public hearings begin at 9:00 A.M. in the City Council Chambers at City Hall, located at 175 5th Street North. All proceedings are quasi-judicial. Therefore, it is required that the applicant or authorized representative attend the hearing.

Community Preservation Commission Approvals

If approved by the Community Preservation Commission, the applicant must wait to initiate construction until after the ten (10) day appeal period. Permits and inspections are required, when applicable. Permits must be obtained within 18 months from the date of the Community Preservation Commission meeting, unless otherwise directed by the Commission. After the expiration date, a one-year extension to complete the work in progress may be approved in the manner originally approved if the owner can show why the work has not been completed.

All conditions of approval must be completed and approved through inspection by Historic Preservation staff before the final building inspection is approved. Failure to satisfy these requirements will invalidate the approval of the request. Approval of a request by the Community Preservation Commission or Historic Preservation Division does not grant or imply other variances from the City Code, FEMA regulations, or other applicable codes. Applicants are advised to contact the Construction Services and Permitting Division at (727) 893-7231 to determine if any other regulations may affect a given proposal.

FEMA Regulations

FEMA regulations may affect your ability to proceed with your plans – even if approved by the Community Preservation Commission. Designated properties may receive variances from local flood hazard requirements when rehabilitating their buildings. Applicants are advised to contact the City's FEMA Coordinator at (727) 893-7876 to determine the impact of FEMA regulations, if any.



Certificate of Appropriateness Approval Matrix

(City code section 16.30.0070.2.6, updated February 10, 2015)

ACTION	CONTRIBUTING and INDIVIDUAL LANDMARKS			NON-CONTRIBUTING		
	Staff	CPPC	No Review	Staff	CPPC	No Review
ADDITIONS						
All		X			X	
ARCHAEOLOGY						
Ground disturbing activities (digging, planting, use of heavy machinery, excavation, vegetation removal)	X					X
CANVAS AWNINGS						
Installation, removal, or alterations	X			X		
CLEANING						
1. Pressure washing, less than 100 psi			X			X
2. Other methods and applications	X			X		
CARPORTS and PORTE COCHERES						
All alterations		X		X		
DECKS, PATIOS						
1. With a roof		X		X		
2. Without a roof	X			X		
DEMOLITIONS						
1. Primary structures		X			X	
2. Accessory structures, historic		X		X		
3. Accessory structures, non-historic	X			X		
4. Historic additions		X			X	
5. Non-historic additions	X			X		
DOORS, ENTRIES, AND GARAGE DOORS						
1. Same materials, style, and size	X			X		
2. Change in materials or style		X		X		
3. Change in openings		X		X		
4. Entry features	X			X		
5. ADA requirements	X			X		
6. Other alterations	X			X		
DRIVEWAYS						
1. Change in materials	X			X		
2. Change in size or configuration	X			X		
3. New or relocated driveway	X			X		
EXTERIOR WALL FINISH						
1. Removal of non-historic material	X			X		
2. All other finishes (including painting of an originally unpainted surface)	X			X		
3. Waterproofing	X			X		
FOUNDATIONS						
1. Same material, style, and size	X			X		
2. Change in material, style, or size		X		X		
3. Sidewalk vault lights	X			X		
INTERIOR ALTERATIONS						
Ad Valorem Tax Exemption Applications ONLY	X					X
LANDSCAPE FEATURES						
1. Arbors, pergolas, and gazebos	X			X		
2. Permanent water features	X			X		
3. Lighting	X			X		
4. Sidewalks	X			X		
5. Walkways	X			X		
6. Planting or removal, non-historic vegetation			X			X
7. Alteration, planting, removal, historic vegetation	X			X		
8. Other	X			X		



Certificate of Appropriateness Approval Matrix

(City code section 16.30.0070.2.6)

ACTION	CONTRIBUTING and INDIVIDUAL LANDMARKS			NON-CONTRIBUTING		
	Staff	CPPC	No Review	Staff	CPPC	No Review
MECHANICAL SYSTEMS						
1. Electrical, plumbing, pool equipment	X			X		
2. HVAC	X			X		
3. Solar Panels	X			X		
4. Other	X			X		
NEW CONSTRUCTION						
All		X			X	
PAINTING						
1. Painting previously painted surfaces			X			X
2. Changes in paint color			X			X
PLAQUES AND MARKERS						
All	X			X		
POOLS						
1. Above ground pools		X		X		
2. In ground pools	X			X		
3. Pool screen enclosures	X			X		
PORCHES AND BALCONIES						
1. Open an enclosed porch	X			X		
2. Enclose a porch		X		X		
3. Alterations		X		X		
RELOCATION						
1. Into a Local Landmark district		X			X	
2. Other		X		X		
RESTORATION (A return to the original based on historic evidence as originally designed and constructed.)						
All	X			X		
ROOF and CHIMNEYS						
1. Same materials and shape	X			X		
2. Change in materials		X		X		
3. Change in shape		X		X		
4. Other alterations		X		X		
SIGNS						
All signage	X			X		
Street numbers			X			X
SHEDS						
Less than 100 sq. ft.	X			X		
SHUTTERS						
1. Removable shutters	X			X		
2. Permanent shutters	X			X		
SITE WALLS AND FENCES						
1. Walls or fences behind the front façade	X			X		
2. Walls or fences in front of or equal to front façade		X		X		
3. Retaining walls	X			X		
4. Demolition, historic		X		X		
5. Sea walls	X			X		
WINDOWS						
1. Same materials, style, and size	X			X		
2. Change in materials or style		X		X		
3. Change in openings		X		X		

NOTES:

Any formal appeal of a City staff determination shall be acted upon first by the City's Community Planning and Preservation Commission ("CPPC"). Any formal appeal of a CPPC determination shall be acted upon in accordance with Section 16.70.015 titled, "Decisions and Appeals Table."

The POD may refer a COA application for public hearing review where the request is not substantially similar to another action already listed, or if the request is non-traditional, may set precedent and therefore requires the benefit of public deliberation and a CPPC decision.



CERTIFICATE OF APPROPRIATENESS

Application No. 18-90200052.

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Economic Development Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida.

GENERAL INFORMATION

NAME of APPLICANT (Property Owner): Mari Jean Hotel LLC

Street Address: 3779 Loquat Avenue

City, State, Zip: Miami, Florida, 33133

Telephone No: 248-789-4440

Email Address: MikeAndon1@aol.com

NAME of AGENT or REPRESENTATIVE: Dennis Lang

Street Address: 2260 5th Ave S

City, State, Zip: Saint Petersburg, FL 33713

Telephone No: 727-656-5677

Email Address: Dennis@aha-archstudio.com

PROPERTY INFORMATION:

Street Address: 2349 Central Avenue, Saint Petersburg, FL 33713

Parcel ID or Tract Number: 23-31-16-78390-020-0080

General Location: Located at the Grand Central District at Central Avenue & 24th Street North

Designation Number: 1+PC 00-02

AUTHORIZATION

City staff and the designated Commission will visit the subject property during review of the requested COA. Any code violations on the property that are noted during the inspections will be referred to the city's Codes Compliance Assistance Department.

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner / Agent: _____

Date: 10/30/2018



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CERTIFICATE OF APPROPRIATENESS

NARRATIVE (PAGE 1 OF 2)

All applications must provide justification for the requested COA based on the criteria set forth in the Historic and Archaeological Preservation Overlay (City Code Section 16.30.070). These criteria are based upon the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties (available on-line at www.nps.gov/history/hps/tps/standards_guidelines.htm). Please type or print clearly. Illegible responses will not be accepted. Please use additional sheets of paper if necessary.

GENERAL INFORMATION

Property Address: 2349 Central Avenue, St. Pete, FL 33713

COA Case No: 18-90200652

Type of Request

- Alteration of building/structure
- New Construction
- Relocation
- Demolition
- Alteration of archaeological site
- Site Work

Proposed Use

- Single-family residence
- Multi-family residence
- Restaurant
- Hotel/Motel
- Office
- Commercial
- Other

Estimated Cost of Work: \$ 30,000.00

WRITTEN DESCRIPTION OF PROPOSED WORK

Explain what changes will be made to the following architectural elements and how the changes will be accomplished. Please provide a detailed brochure or samples of new materials.

1. Structural System

There will be no modification to the structural systems of the existing building.

2. Roof and Roofing System

There are no proposed modifications to the roof or roofing systems of the existing building. There are new roof structures proposed for the Courtyard Bar and Bathrooms structures as shown on the attached renderings and elevations.



CERTIFICATE OF APPROPRIATENESS

NARRATIVE (PAGE 2 OF 2)

3. Windows

The Central Avenue facade is being renovated to recall the historic conditions of the storefront. Opening to the historic lintel height and reintroducing the transom configuration over the roll-down windows captures the historic aesthetic street level transparency and access.

4. Doors

We are proposing modifications to the existing door configuration within our storefront remodel.

5. Exterior siding

No exterior siding renovations to the existing building. New Bathroom Structure in courtyard will match existing building finish.

6. Decorative elements

The Central Avenue Facade renovation restores the historic aesthetic of the street frontage, including the increased storefront height via the transom configuration.

7. Porches, Carriage Porch, Patio, Carport, and Steps

We are proposing modifications of the Courtyard area and adding a covered bar area that will aesthetically match the existing building.

8. Painting and/or Finishes

No modification to the building materiality or finishes; the building will be painted at a later time after the completion of additions; under separate cover.

9. Outbuildings

No outbuildings exist currently. We propose the addition of the free-standing ADA bathroom facilities in the courtyard area.

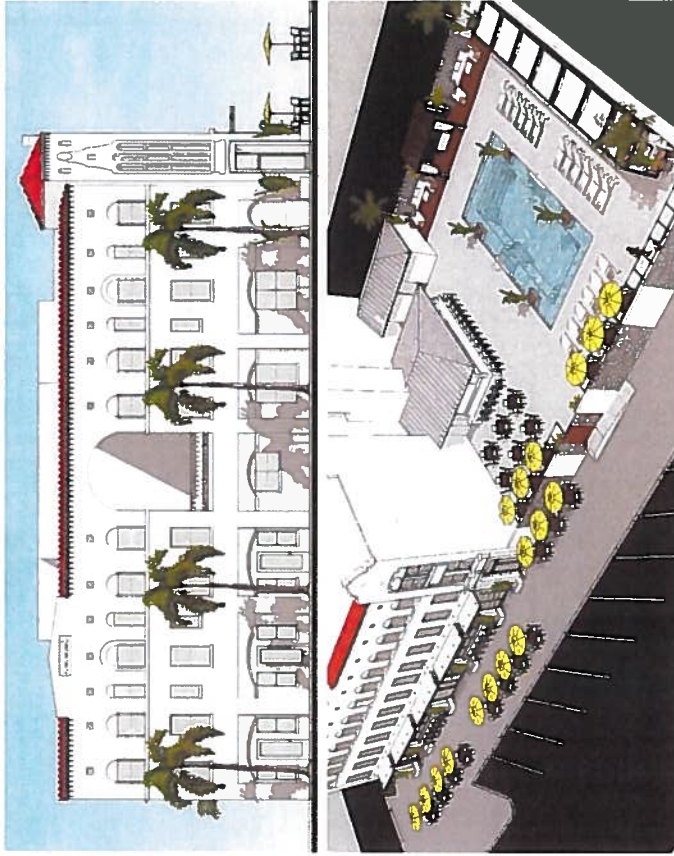
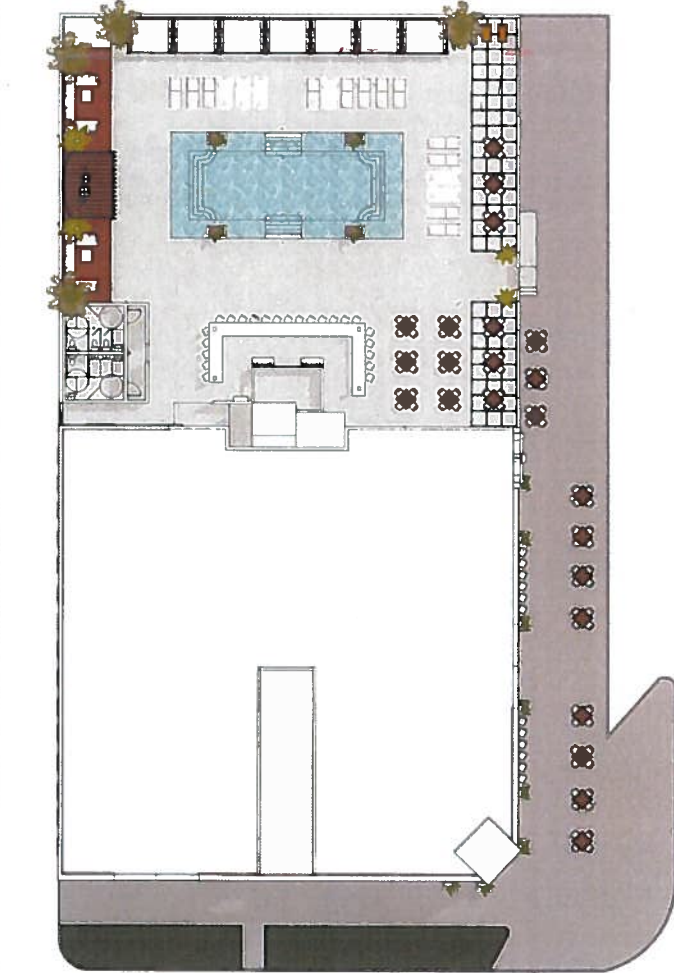
10. Landscaping, Parking, Sidewalk, Garden features

Significant upgrades to the Central Avenue Sidewalk area to include new seating, counter seating, landscaping, and ADA access to the courtyard from the Central Ave Sidewalk.

11. Other

We are proposing the addition of a pool and cabana seating deck areas to the courtyard.

2349 CENTRAL AVE

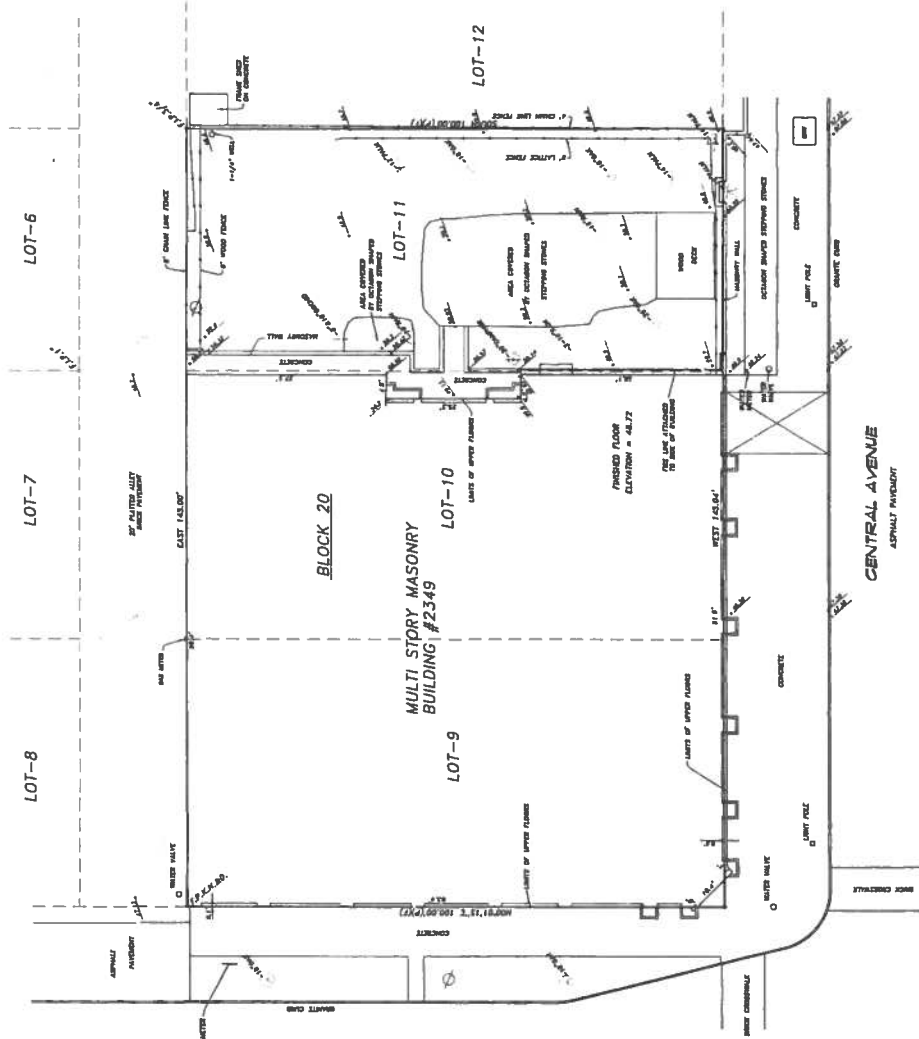


aha

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2380 5th AVE S SUITE 3 ST PETE FL 33712

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2349 CENTRAL AVE
 SECTION 23, TOWNSHIP 31 SOUTH, RANGE 16 EAST
 PINELLAS COUNTY FLORIDA
 MAP OF SURVEY



NOTE: RECONSTRUCTION OF WEST FACE OF LOT 11, BLOCK 20, ST. PETERSBURG, FLORIDA, ACCORDING TO THE RECORDS OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

- NOTES:
- 1) Underlaid utilities and/or encroachments if any not located.
 - 2) This survey was performed without the benefit of a Title Insurance Assured.
 - 3) The survey was performed without the benefit of a Title Insurance Assured.
 - 4) There may be additional encroachments and/or easements not shown on this survey that may be found in the Public Records of Pinellas County, Florida.
 - 5) The survey was performed without the benefit of a Title Insurance Assured.
 - 6) D & E SURVEYING, INC. AND CERTAIN LAND SURVEYORS ACCEPT NO RESPONSIBILITY FOR THE RESULTS OF THIS SURVEY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE CURRENT DEED AND/OR OTHER INSTRUMENTS OF RECORD FURNISHED BY CLIENT.



LEGEND

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DESCRIPTION: AS FURNISHED
 LOTS 9, 10 AND 11, BLOCK 20, ST. PETERSBURG, FLORIDA, ACCORDING TO THE RECORDS OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

BOUNDARY, TOPOGRAPHIC & TREE SURVEY 4-10-12

I hereby certify that this map was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Florida.

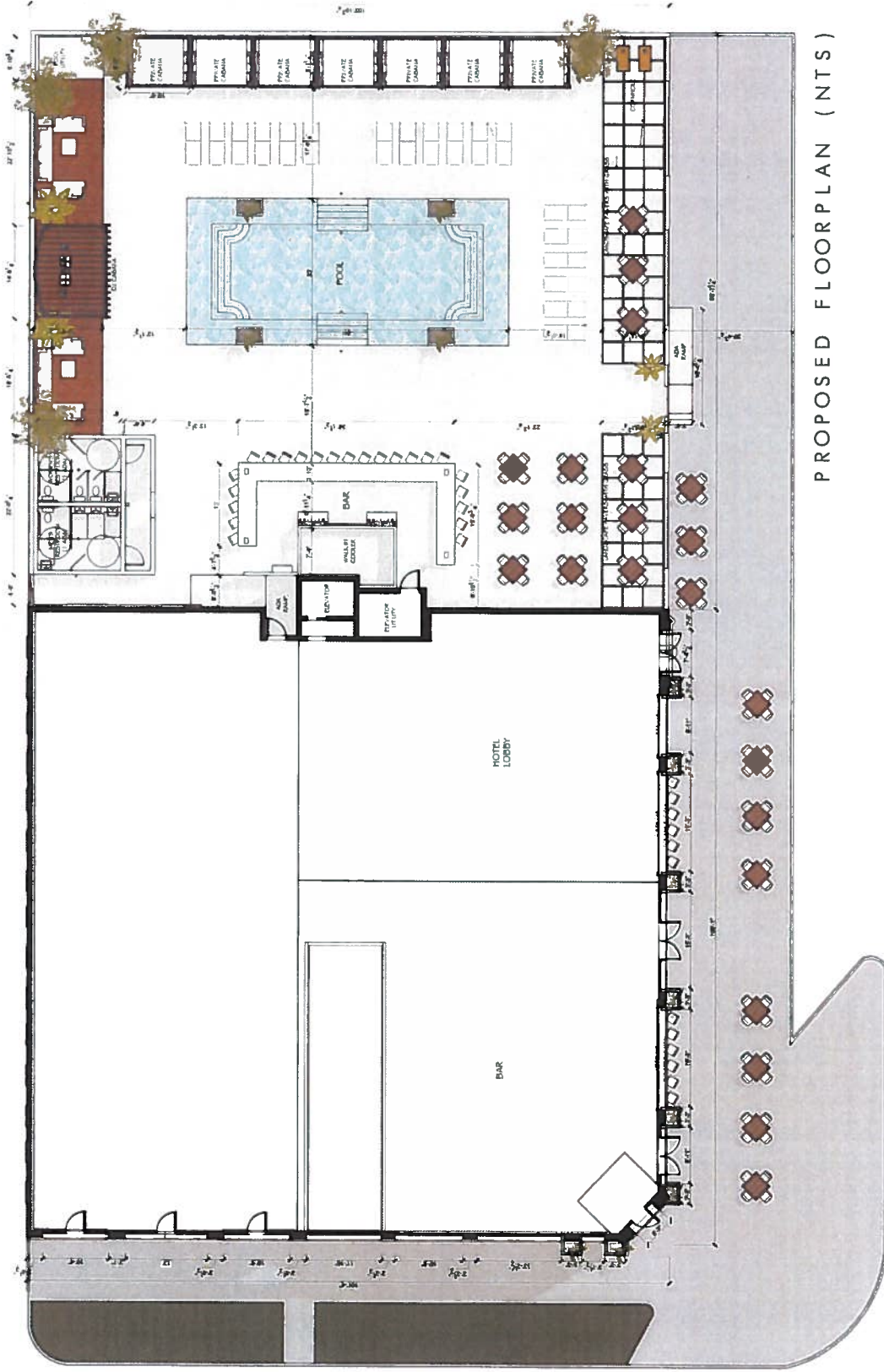
D & E SURVEYING, INC.
 1815 U.S. HIGHWAY 41 SOUTH • RUSKIN, FLORIDA 33770 (D&E-47) (813) 942-2088

SHRINATHJI, INC.

1 OF 1

FILE NO.

2349 CENTRAL AVE



PROPOSED FLOORPLAN (NTS)

ahaj

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www.ahajarchitect.com

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CENTRAL AVE

24TH STREET NORTH

2349 CENTRAL AVE



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

Ahas

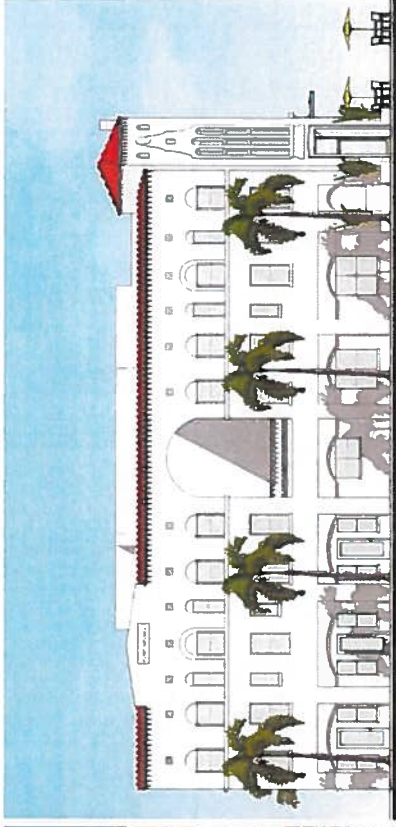
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2349 CENTRAL AVE



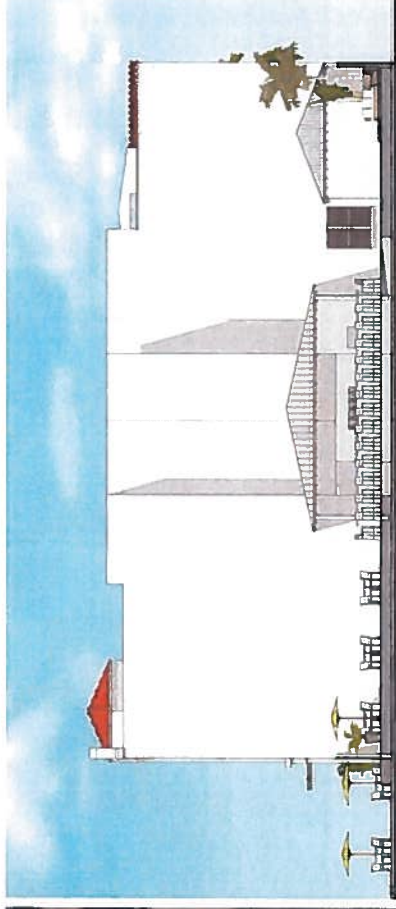
EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

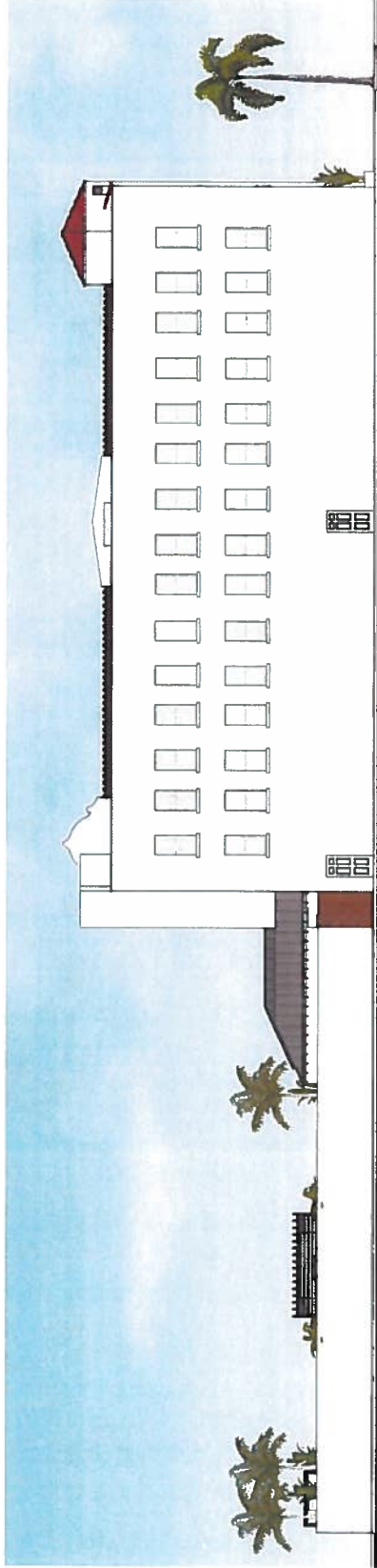
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2349 CENTRAL AVE



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

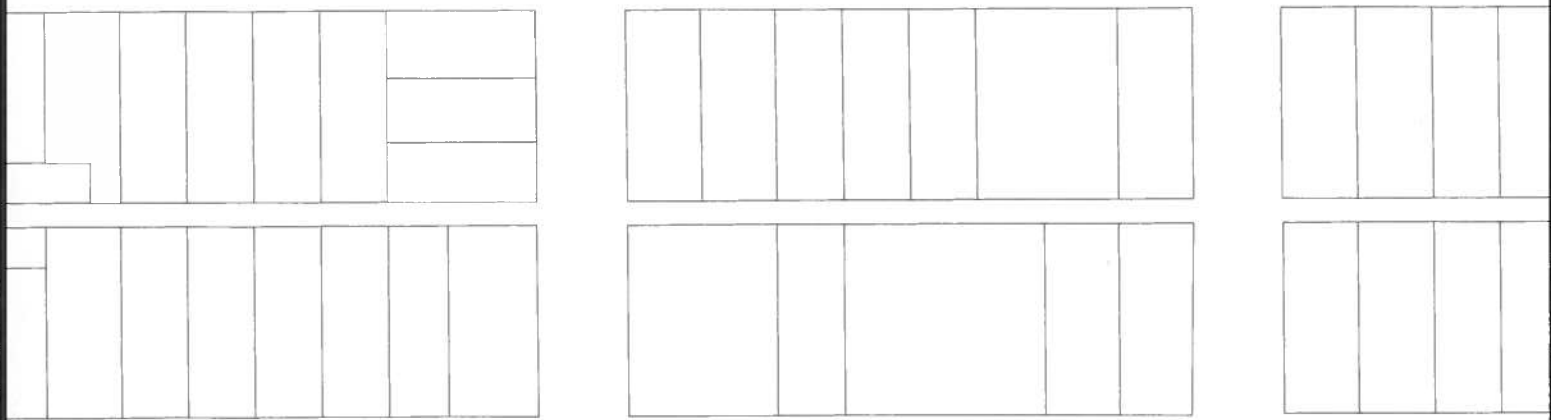
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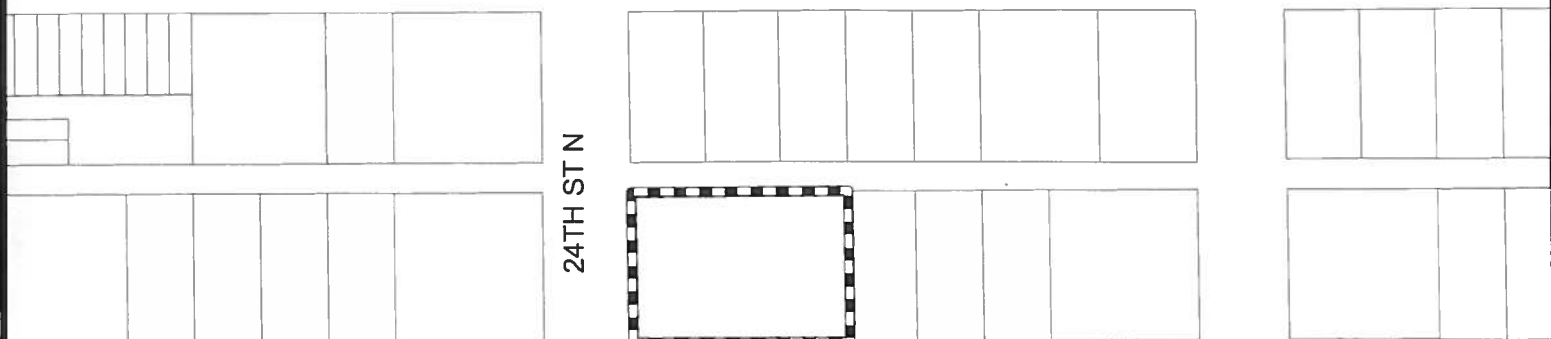
Appendix B:

Maps of Subject Property

2ND AVE N

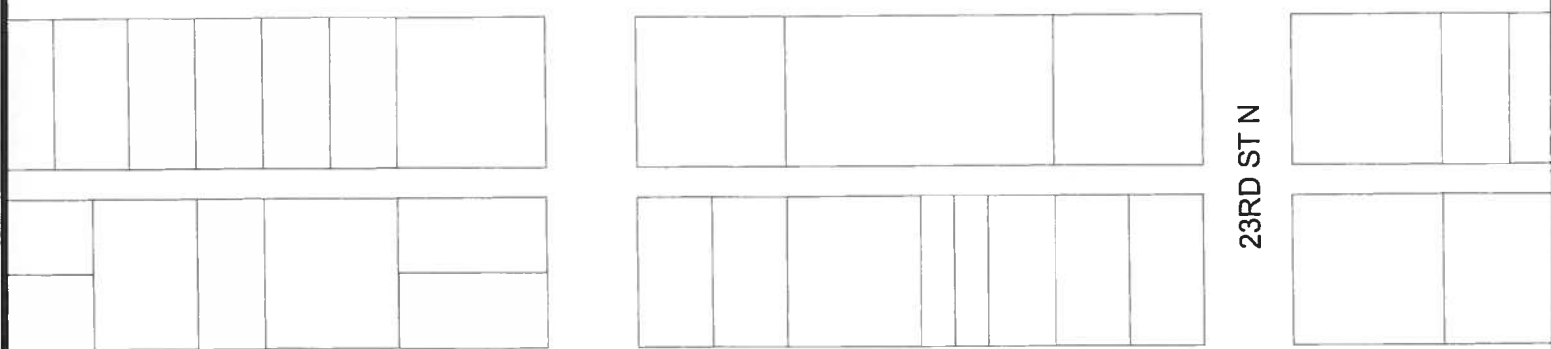


1ST AVE N



24TH ST N

CENTRAL AVE



23RD ST N

1ST AVE S



Community Planning and Preservation Commission

2349 Central Avenue

AREA TO BE APPROVED,

SHOWN IN



CASE NUMBER

18-90200052



N

**SCALE:
1" = 140'**



Community Planning and Preservation Commission

2349 Central Avenue

**AREA TO BE APPROVED,
SHOWN IN** 

**CASE NUMBER
18-90200052**



N
SCALE:
1" = 140'



Certificate of Appropriateness

City of St. Petersburg

Urban Planning and Historic Preservation

COA Number Application Date

Applicant First Name Last Name

Property Owner First Name Last Name

Property Address
Number Street Street Type Direction Unit Number

Resource Name Designation Number

Cost Related File

Proposed Work:

Storefront rehabilitation of Central Ave façade windows at ground floor
Construction of bar and pool area at east elevation, including attached covered bar and semi-attached restroom building

Type Review CPC Date

Approval Action Date COA Expiration

Conditions Of Approval

- 1.The windows at the south elevation shall be comprised of horizontally sliding units or pivoting units, in addition to the fixed windows and doors proposed, rather than rollup units, and to be approved by staff. The appearance of the frames shall be either a solid color or wooden, but not metallic.
- 2.Window and door units and transom lights shall be set within wall plane at least three inches to reference common historic configurations.
- 3.Flat, fixed awnings shall be placed between transom and display windows and at least eight feet deep, pursuant to approval by the City's Engineering Department.
- 4.Where proposed, muntins shall be external and three-dimensional, whether as simulated divided light or true divided light windows.
- 5.Clay tile roof surfaces shall be used in lieu of metal at the proposed courtyard bar and restroom building.
- 6.Except as noted, historic design, materials and forms are to be retained in-kind.
- 7.Any design changes not included as part of this COA review and approval, shall require the approval of the CPPC, except for minor changes as deemed appropriate by the Historic Preservation staff.

This certifies that the proposed work related to the property listed above has been approved by the Urban Planning and Historic Preservation division of the Planning and Economic Development Department. The approval of this Certificate of Appropriateness in no way constitutes approval of an "Application for Permit to Build" by the City of St. Petersburg's Construction Services and Permitting Division or any other required City permit approvals.

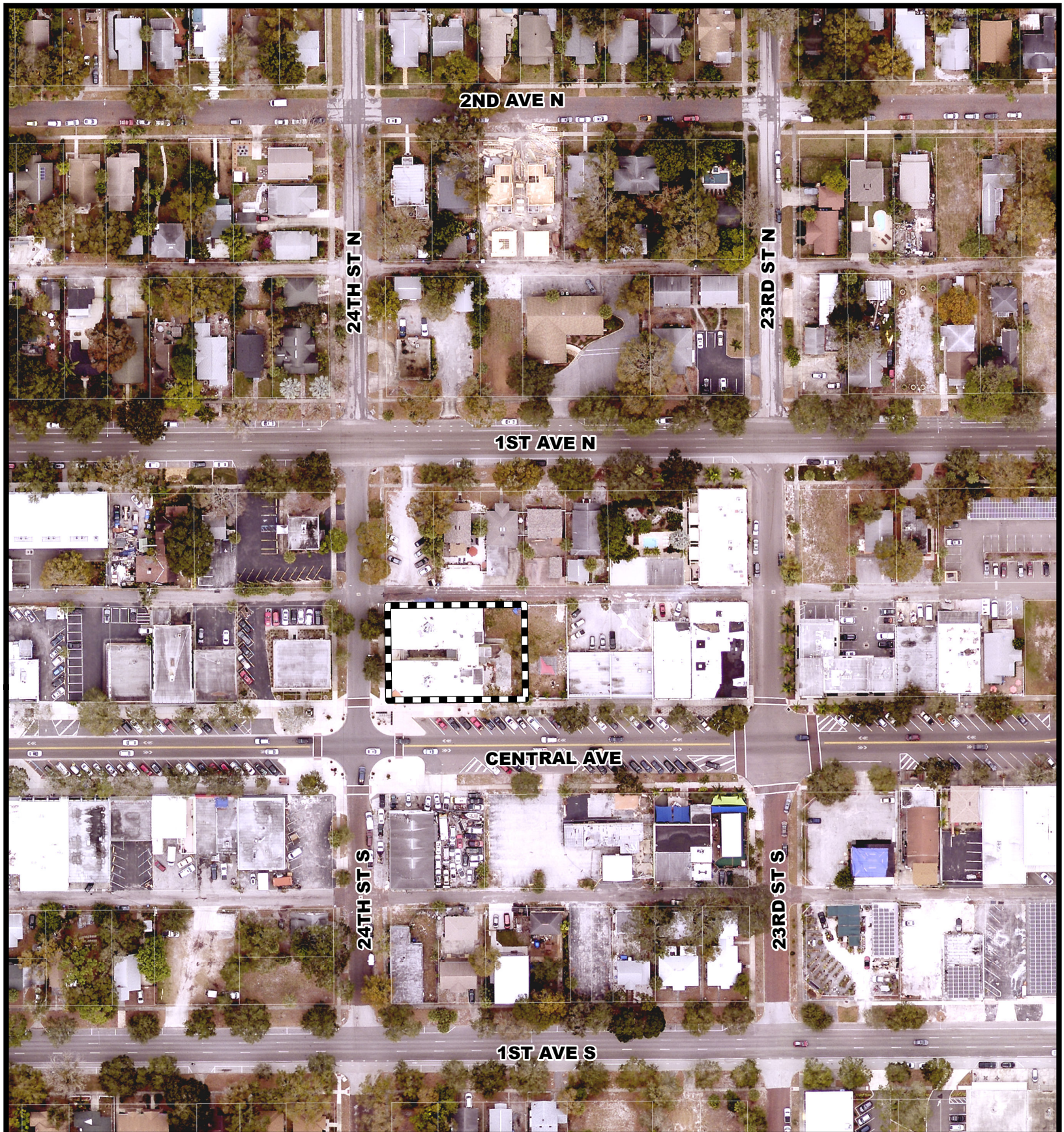
Staff Signature

Applicant Signature



Appendix B:

Maps of Subject Property



Community Planning and Preservation Commission

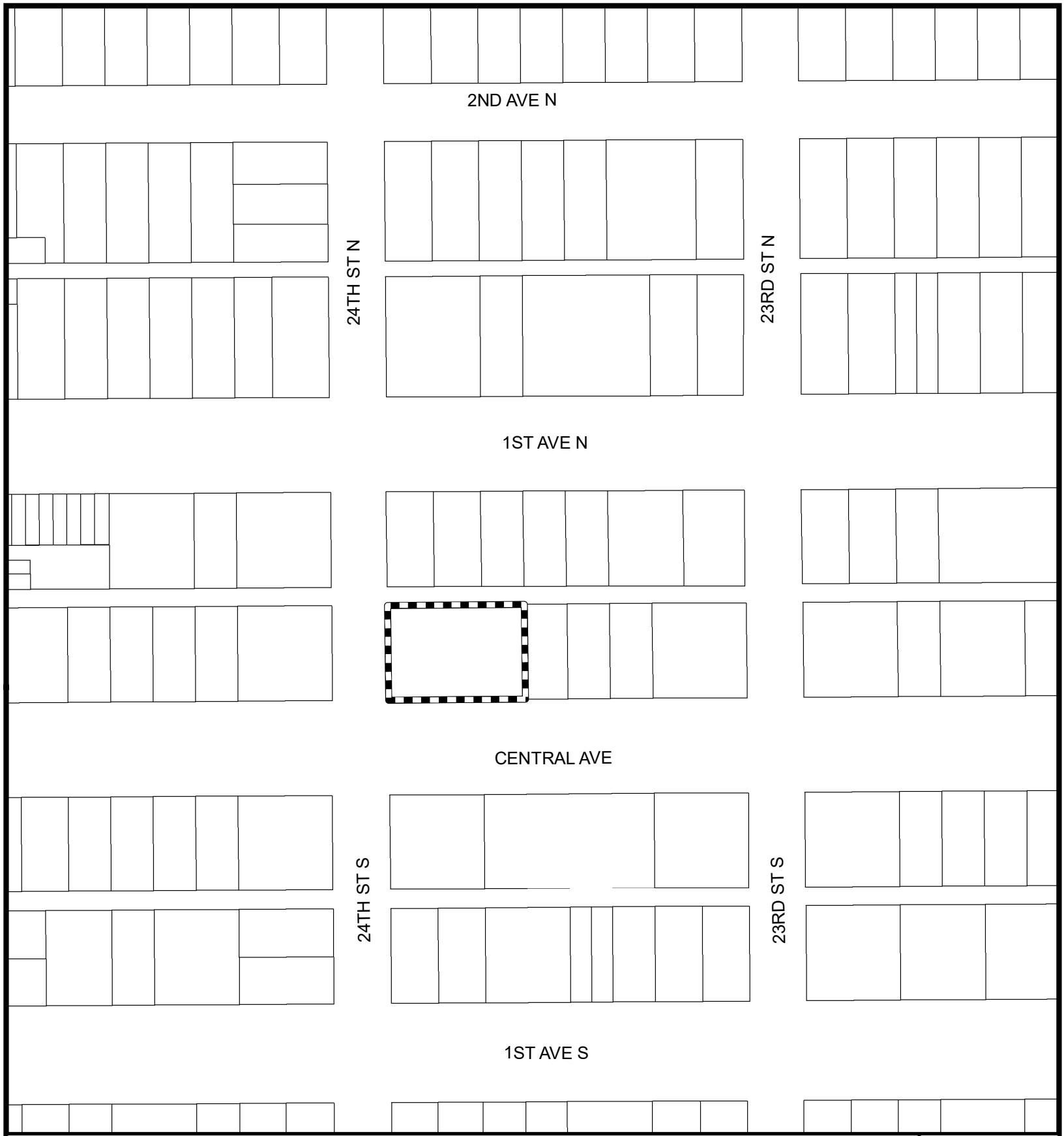
2349 Central Avenue

**AREA TO BE APPROVED,
SHOWN IN** 

**CASE NUMBER
21-90200001**



**SCALE:
1" = 150'**



Community Planning and Preservation Commission

2349 Central Avenue

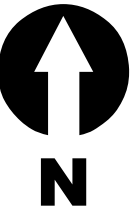
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